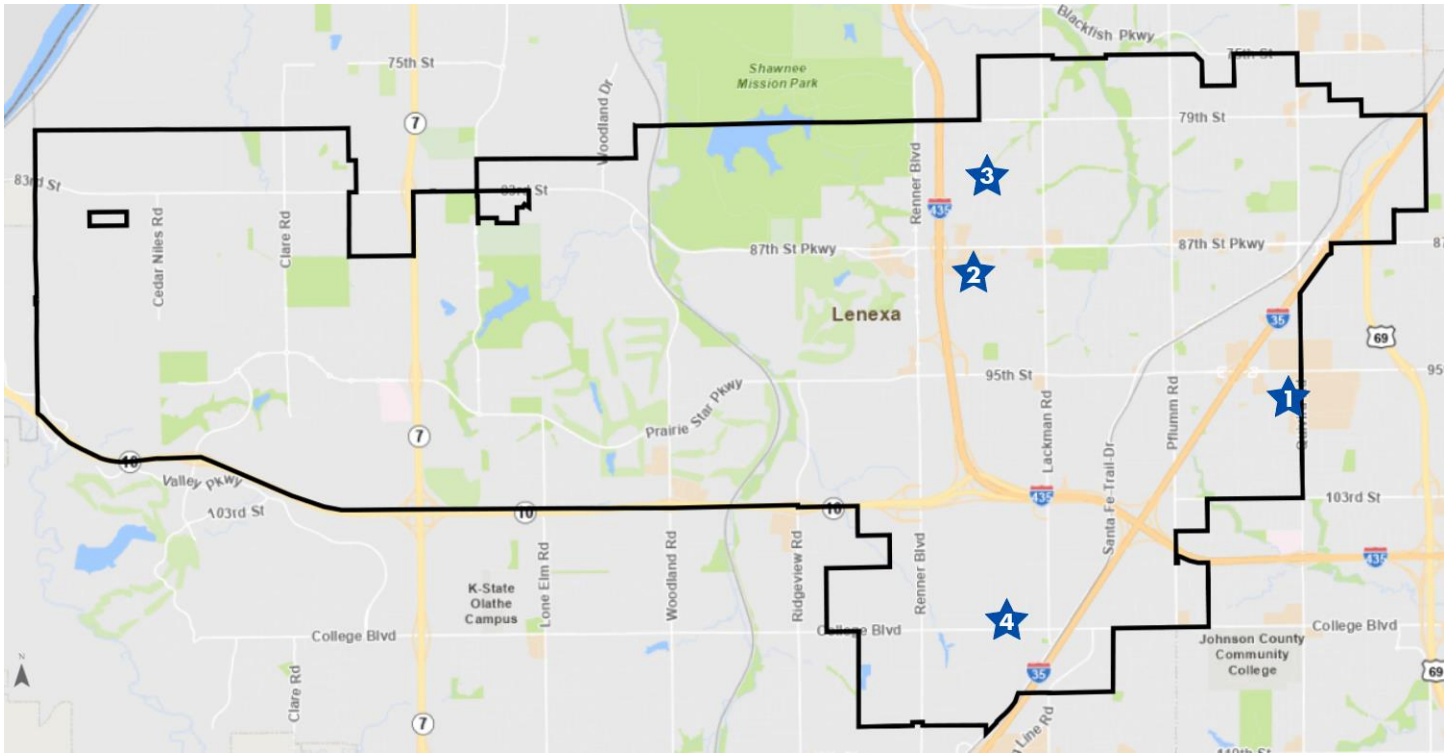


**AGENDA MAP**



**CALL TO ORDER**

**ROLL CALL**

**APPROVE MINUTES FROM THE DECEMBER 2, 2024 MEETING**

**CONSENT AGENDA**

*All matters listed within the consent agenda have been distributed to each member of the Planning Commission for review, are considered to be routine, and will be enacted by one motion with no separate discussion. If a member of the Planning Commission or audience desires separate discussion on an item, that item may be removed from the consent agenda and placed on the regular agenda.*

- 1. Petco - Consideration of a revised final plan for a facade improvement for a new tenant space within an existing building on property located at 9658 Quivira Road within the CP-3, Planned Regional Commercial District. PL24-10FR**
- 2. Sonoma Plaza Phase 3 Apartments - Consideration of a final plan for a four-five-story split multifamily residential development on property located approximately east of 88th Street & Maurer Road within the PUD, Planned Unit Development District. PL25-01F**

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## REGULAR AGENDA

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3. **Ad Astra Pool - Consideration of a preliminary plan for reconstruction of a public pool on property located at 8265 Maurer Road in the R-1 (Residential Single-Family, Low Density) District. PL25-01P**
4. **Real Church - Consideration of a special use permit for a church/place of worship use on property located at 15602-15618 College Boulevard in the BP-1 (Planned Business Park) District. SU25-01 (Public Hearing)**

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## CONTINUED APPLICATIONS (NO DISCUSSION)

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5. **Southlake Warehouse Dock Addition - Consideration of a revised final plan to add a dock area to an existing office building located at 11217 Lakeview Avenue in the CP-O, Planned General Office District. PL24-10F**

## STAFF REPORTS

6. **3/8 Cent Sales Tax Presentation**

## ADJOURN

## APPENDIX

7. **December 2, 2024 Draft Minutes**

*If you have any questions about this agenda, please contact Stephanie Sullivan, Planning Manager, at [ssullivan@lenexa.com](mailto:ssullivan@lenexa.com).*

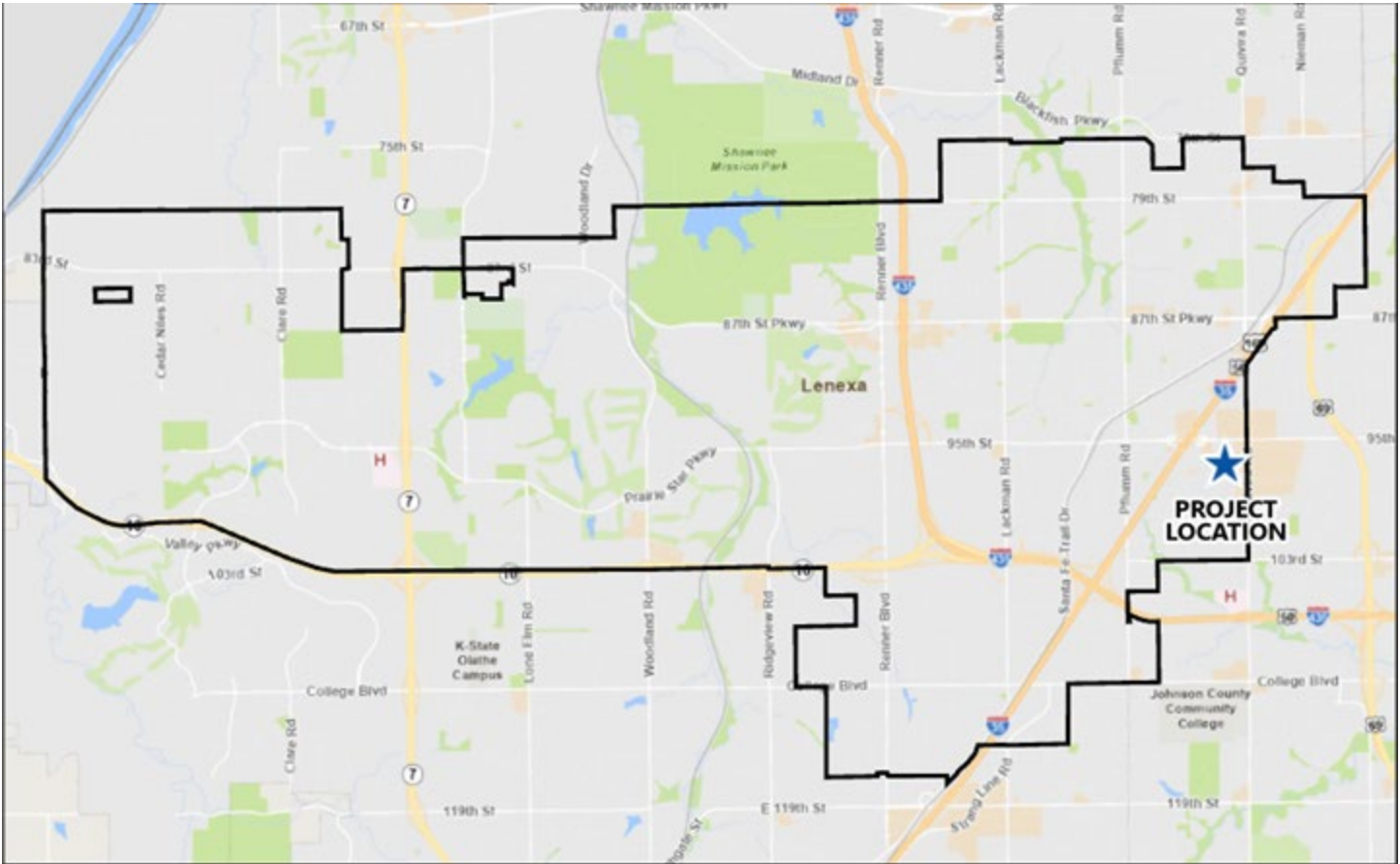
*If you need any accommodations for the meeting, please contact the City Clerk's Office at 913-477-7550 at least 48 hours prior to the meeting.  
Kansas Relay Service: 800-766-3777*

*Assistive Listening Devices are available for use in the Community Forum by request.*



**PETCO**

<b>Project #:</b>	PL25-01FR	<b>Location:</b>	9658 Quivira Road
<b>Applicant:</b>	Edgar Minero, CT Arch	<b>Project Type:</b>	Revised Final Plan
<b>Staff Planner:</b>	Noah Vaughan	<b>Proposed Use:</b>	Retail



**PROJECT SUMMARY**

The applicant requests approval of a revised final plan to make minor alterations to the exterior of the existing retail space into a new retail space anticipated to be occupied by Petco. The site is in the Orchard Corners commercial area, zoned CP-3, located south of 95<sup>th</sup> Street with access off the west side of Quivira Road. The scope of the changes are limited to shell and site improvements, featuring enhancements to the building’s façade, landscaping, and the trash enclosure. The façade will feature materials and color that will match the overall design of the shopping center.

**STAFF RECOMMENDATION: APPROVAL WITH ONE CONDITION**

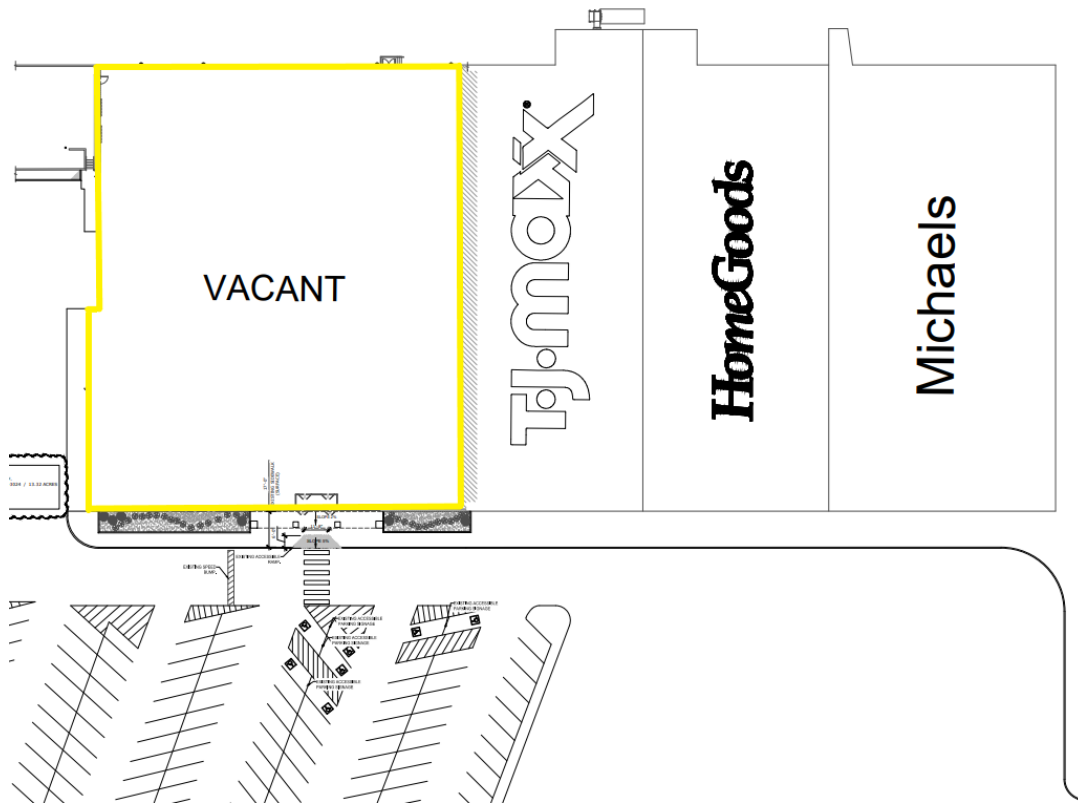
## SITE INFORMATION

The subject site was constructed in 1971 for Woolco Mercantile as one space, addressed 9656 Quivira Road. Throughout the years, multiple outfitters have occupied the space including Linens & Things, Stein Mart, Spirit Halloween, and the Johnson County Christmas Bureau. The most recent permanent tenant, Stein Mart, occupied the space from 2009 to 2020 for a total of 11 years. Spirit Halloween and the Johnson County Christmas Bureau utilized the space on a seasonal basis in the fall and winter from 2020 to 2023. In 2024, the tenant space was divided in half to create two tenant spaces, one retaining the original address (anticipated to be occupied by Sierra) and a new address was assigned to the subject site, 9658 Quivira Road. Plans for the Sierra tenant space were approved in July and November 2024 (PL24-07FR and DV24-04).

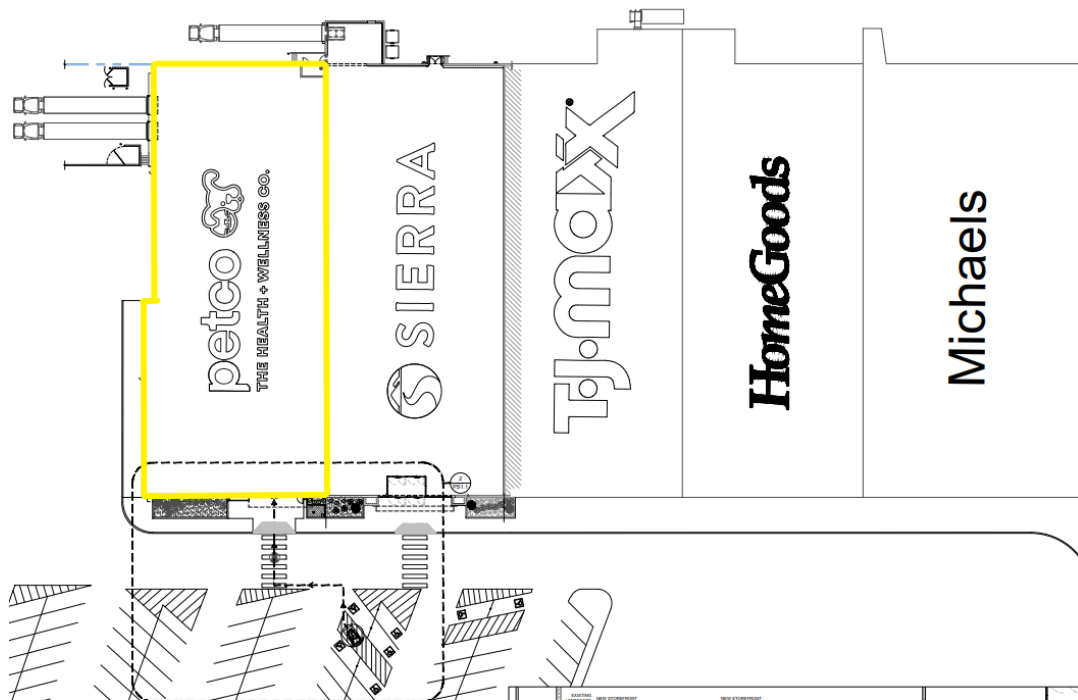
LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
13.3 (parcel)	103,287 (entire building) 18,530 (tenant space)	CP-3	Regional Commercial Center



**Exhibit 1: Aerial image of Orchard Corners Shopping Center with subject parcel outlined in red and tenant space highlighted in yellow.**



**Exhibit 2: Excerpt of site plan showing existing Orchard Corners shopping center tenants. Space proposed to be utilized for Petco and Sierra outlined in yellow.**

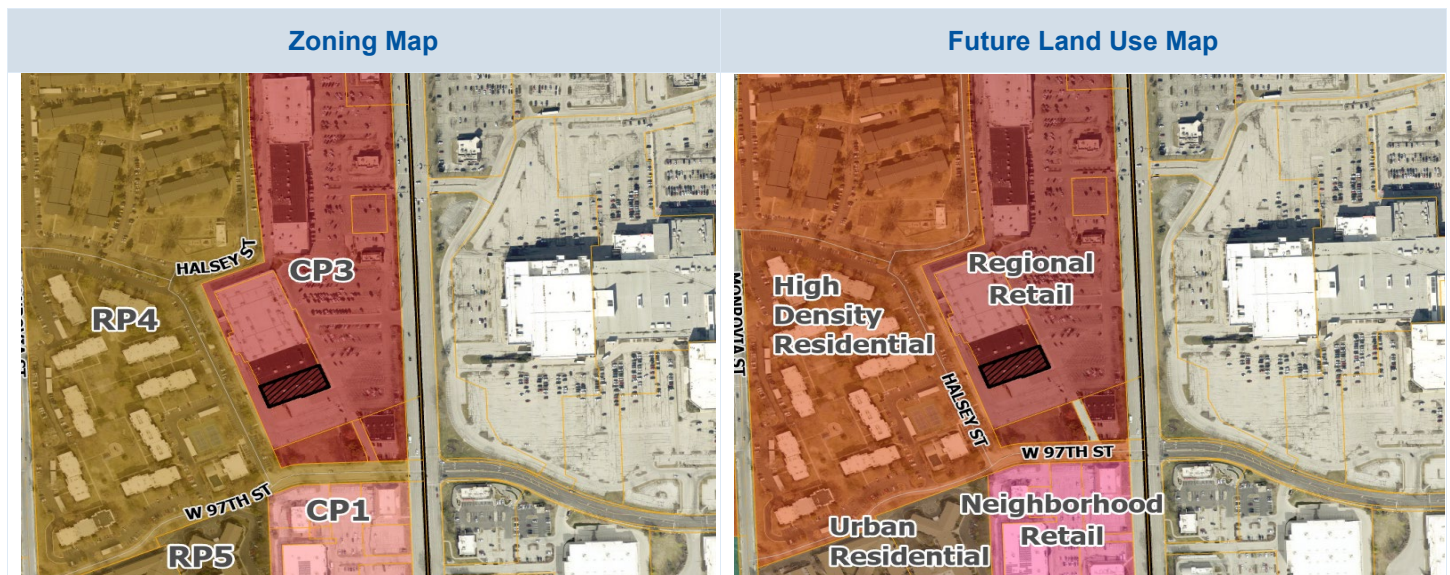


**Exhibit 3: Excerpt of Orchard Corners shopping center with proposed Petco and Sierra. Petco tenant space outlined in yellow. Additional crosswalks and landscaping to be added are shown.**



## LAND USE REVIEW

The use is permitted within CP-3, Planned Regional Commercial District. Petco, also known as Petco Health and Wellness Company, Inc, is a retail store featuring pet food, supplies, and services, as well as sale of small animals. While there is not another Petco located in Lenexa, there is a store located close to city limits in Overland Park. It is anticipated that normal operations of the retail store will operate Monday through Sunday from 9:00 AM to 9:00 PM. The proposed retail use is compatible with the existing zoning and future land use classification.



**TABLE 1: COMPARISON OF SURROUNDING PROPERTIES**

Vicinity	Land Use Designation	Zoning	Current Use
<b>Subject Property</b>	Regional Retail	CP-3, Planned Regional Commercial District	Vacant; Retail
<b>North</b>	Regional Retail	CP-2, Planned Community Commercial District; CP-3, Planned Regional Commercial District	Shopping Center; Restaurant, general; Restaurant, fast-food; Retail
<b>South</b>	Regional Retail	CP-1, Planned Neighborhood Commercial District; NP-O, Planned Neighborhood Office; RP-4, Residential Planned High-Density District; RP-5, Residential Planned High-Rise Density District	Retail; Restaurant, general; Multifamily; Office
<b>East</b>	Regional Retail; Commercial (Overland Park)	CP-2, Planned General Business (Overland Park)	Shopping Center; Restaurant, general; Restaurant, fast-food; Retail
<b>West</b>	High Density Residential	CP-O, Planned General Office District; CP-1, Planned Neighborhood Commercial District; CP-3, Planned Regional Commercial District; RP-4, Residential Planned High-Density District	Multifamily; Retail; Office; Entertainment, indoor

## REVISED FINAL PLAN REVIEW

The proposed revised final plan involves exterior modifications for a single tenant space situated at 9658 Quivira Road within the Orchard Corners shopping center. This tenant space is located at the south endcap of the shopping center. The original floor plan of 9656 Quivira encompasses a total of 37,672 SF. The proposed changes include dividing the space into two separate areas, with Petco proposing to occupy 18,530 SF of the southern portion adjacent to Sierra. The Sierra tenant space will be 19,142 SF. Each tenant will have their own designated exterior entrances.

Plans submitted by the applicant demonstrate Petco as a prospective tenant to occupy the new space adjacent to Sierra. It is important to note that the scope of this revised final plan application includes changes to the Petco storefront only. The adjacent tenant space to be occupied by Sierra was reviewed as a revised final plan (PL23-07FR) and plans were approved.

Additionally, a new loading space is proposed on the rear (connected on the south side) of the building. Staff has communicated that no outdoor storage is permitted. Staff reviewed the landscaping along the west property line abutting multifamily development and has determined there is sufficient screening for the loading area, while the area directly to the south of the loading area contains additional public parking.

### PUBLIC IMPROVEMENTS

No public improvements are proposed with this project.

### ACCESS, TRAFFIC, AND PARKING

The Orchard Corners shopping center is composed of one large main parcel and several separate parcels. All parcels within Orchard Corners are owned by a single entity. No shared parking agreements are required. Shared parking is typical for large shopping centers and allows for flexibility in parking requirements. Tenant spaces are occupied by a variety of commercial uses including retail, restaurants, drive-thrus, personal services, and notable tenants such as Nordstrom Rack, T.J.Maxx, Michaels, HomeGoods, and Bo-Lings.

Shopping centers have a standard parking requirement of 1 space per 250 SF. The Orchard Corners shopping center boasts over 1,100 parking spaces. The northern portion of the building that features T.J.Maxx stores has 457 spaces. Because the proposed tenant spaces for Petco and Sierra were just recently split into two separate spaces, parking is calculated using the overall amount of parking spaces provided for both tenants. There are 202 parking spaces available for both Petco and Sierra and each tenant must still meet the 1 space per 250 SF requirement. Because both spaces combined are 37,672 SF of retail, 151 parking spaces is the minimum requirement to meet code. The numbers provided in Table 2 are based on the applicant’s most recent data provided to Staff. Staff’s opinion is that both tenant spaces have adequate amounts of parking in excess of 51 additional spaces above code requirements.

**TABLE 2: PARKING ANALYSIS**

Land Use	Parking Formula	Required Parking	Proposed Parking	Difference
Shopping Center, Retail	1 space / 250 SF	151	202	+ 51

Access into the shopping complex is available at five points: two points of ingress and egress from eastbound 95<sup>th</sup> street before Quivira, two points of ingress and egress from Quivira, and one point of access from the south at the intersection of 97<sup>th</sup> and Quivira. Public sidewalks are only available on the northernmost part of the site along 95<sup>th</sup> Street.

An additional crosswalk will be added to accommodate Petco moving into the new tenant space, while the existing crosswalks leading to Sierra will be relocated and restriped to accommodate the shifting of the storefront to the north. There will also be a new accessible ramp and pavement replacement done at the new crosswalk leading to the front entrance of the store.

## **STORMWATER**

No modifications to the existing stormwater system for the shopping center or tenant space are proposed or required at this time.

## **FIRE PREVENTION**

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal.

## **LIGHTING**

Parking lot lighting is provided through existing light poles. Lighting changes are not proposed.

## **SIGNAGE**

The plans show multiple signs on the façade; this would not be permitted per sign code and would not be supported as a deviation by Staff. The primary sign appears to meet size requirements upon preliminary staff review but should be reviewed by applicant to ensure compliance with code prior to permit submittal. A size deviation for the primary sign may be supported by Staff, within reason, as other tenants within the space have been granted size deviations in the past. The applicant has acknowledged all signs associated with this application shall be reviewed through a separate permitting process.




## **LANDSCAPING**

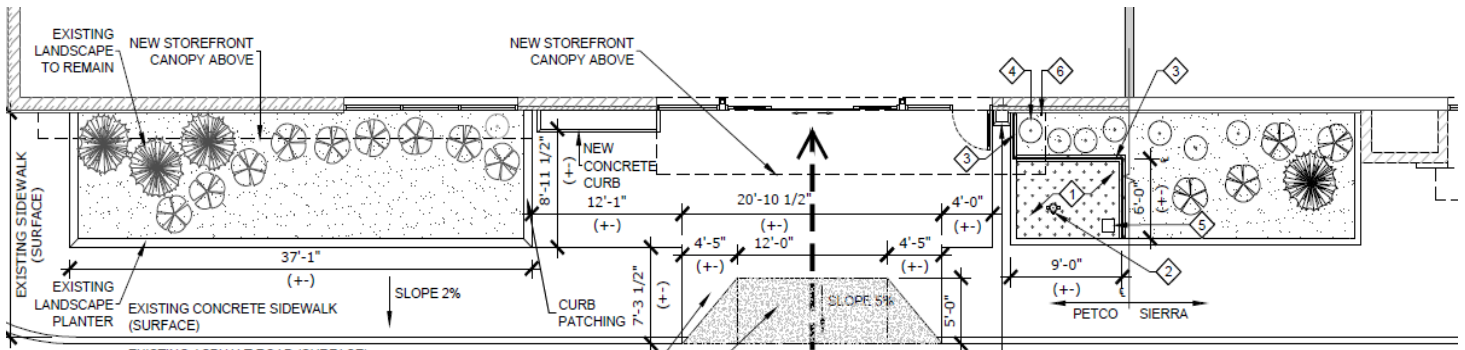
The existing landscaping mulch and shrubbery near the front entrance of both Petco and Sierra will mostly remain the same. The current landscaping features spartan juniper trees, as well as lilyturf and wintergreen boxwood shrubs; one side of the landscaping will receive replacement shrubs as a new pet relief area will be added, requiring some plant relocation. The pet relief area will be added on the right side of the existing landscaping, consisting of artificial grass as well as a pet waste disposal station. This area will be fenced off with pet-friendly, vinyl-coated fencing that will sit on a concrete curb, separating it from the main landscaping area. In addition, a loading area will be constructed to accommodate SU-30 sized service vehicles, which will also contain a trash enclosure. The trash enclosure will be composed of concrete material painted to match the building, and the plan proposes chain-link fence gates containing privacy slats to screen the interior of the enclosure. However, fence code would not allow for chain-link with slats to serve as the screening fence for the enclosure. As a condition of approval for this revised final plan, Staff will require the applicant to propose masonry materials that match the principal structure during review at the building permit stage.



LANDSCAPE KEY NOTES:	
①	NEW K9 GRASS OVER AIRDRAIN GEOCELL SYSTEM, OR SIMILAR. GC TO PREPARE SUBBASE FOR ARTIFICIAL GRASS SYSTEM.
②	NEW PLASTIC/PET FRIENDLY FIRE HYDRANT.
③	NEW BLACK 24" VINYL COATED PET FRIENDLY FENCE OVER 6" CONCRETE CURB BELOW.
④	NEW SHRUBS TO MATCH EXISTING WINTERGREEN BOXWOOD OR SIMILAR.
⑤	NEW PET WASTE STATION.
⑥	NEW FROST FREE HOSE BIB.

PLANT SCHEDULE	
<b>TREE</b>	<u>BOTANICAL NAME / COMMON NAME</u>
	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER
<b>SHRUBS</b>	<u>BOTANICAL NAME / COMMON NAME</u>
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF
	BUXUS MICROPHYLLA 'WINTERGREEN' / WINTERGREEN BOXWOOD



**Exhibit 4: Landscaping area and pet relief station near the proposed storefront.**



**Exhibit 5: Current photo of the loading area on the south side of the Petco tenant space.**

## ARCHITECTURE

The applicant proposes a significant refacing and modification of the current façade. The applicant proposes to split the existing single tenant space into two tenant spaces. Proposed materials, which include concrete, steel, EIFS, masonry, wood, aluminum, and architectural elements will meet code requirements and site-specific design guidelines.



*Exhibit 6: Existing Orchard Corners façade profile, before any improvements for the Petco storefront.*



*Exhibit 7: Proposed Orchard Corners façade profile with Sierra and new Petco tenant on south endcap.*



*Exhibit 8: Proposed Petco storefront elevation. Signage will be reviewed via the sign permit process and is not approved as part of this plan application.*



**Exhibit 9: Proposed materials palette.**

## DEVIATIONS

The applicant is not requesting any deviations from the Unified Development Code (UDC).

## NEXT STEPS

- The Planning Commission is the final authority for approval of this project.
- The applicant must receive permit(s) prior to commencing construction.
- Any sign(s) require a sign permit prior to installation.
- The applicant must obtain a Certificate of Occupancy before opening for business.
- The applicant must obtain a Business License prior to opening for business.
- The applicant should inquire about additional City requirements and development fees.

## RECOMMENDATION FROM PROFESSIONAL STAFF

### ★ Staff recommends approval of the proposed revised final plan for Petco.

- The project is consistent with Lenexa's goals through *Responsible Economic Development* to create *Inviting Places* and a *Thriving Economy*.

### FINAL PLAN

Staff recommends **APPROVAL** of the final plan for PL25-01FR - **Petco** at 9658 Quivira Road, for a retail use with the following condition:

1. The trash enclosure shall be screened with masonry materials to match the principal structure. This element will be reviewed for compliance at building permit stage.





Data Source: City of Lenexa and Johnson County Kansas  
For further information, please call 913-477-7500

# Petco Revised Final Plan

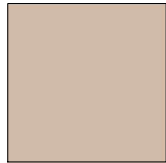




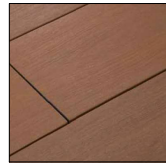


3 SHOP CENTER STOREFRONT ELEVATION

SCALE: N.T.S.



100  
 DRYVIT  
 #108 "MANOR WHITE"



200  
 CALI-BAMBOO  
 "SEDONA" TRU-ORGANICS SQUARE  
 EDGE COMPOSITE WOOD PLANKS



300  
 KYNAR  
 MATCH SHERWIN-WILLIAMS  
 #9176 "DRESS BLUE" (SLATE BLUE)



400  
 KAWNEER  
 CLEAR ANODIZED



500  
 PPG  
 DURANAR  
 #UC70149F "DARK BRONZE"

2 MATERIAL KEY



1 PROPOSED STOREFRONT ELEVATION RENDERING

SCALE: N.T.S.

CT

CAMBURAS & THEODORE, LTD

ARCHITECTS (REGISTERED ARCHITECTS)  
 244 E. Carpenter St., Suite 202  
 Des Plaines, IL 60018  
 P: 815.329.1100  
 www.camburasandtheodore.com

1251 2nd St., Suite 410  
 Des Plaines, IL 60018  
 P: 815.329.1100  
 www.camburasandtheodore.com



petco  
 THE HEALTH + WELLNESS CO.

ORCHARD CORNERS  
 CORE AND SHELL PHASE I  
 9698 QUINIRA RD  
 LENEXA, KS 66215

REVISION DATES

NO.	DATE	TYPE

ISSUE DATES

TYPE	DATE
OWNER REVIEW	12-24-20
PERMIT REVIEW	12-24-20

DRAWN BY:  
 CHECKED BY:

PROJECT NUMBER:  
 24-72003

DATE:  
 10/24/2024

SHEET TITLE:  
 PROPOSED ELEVATION

SCALE:  
 PE



















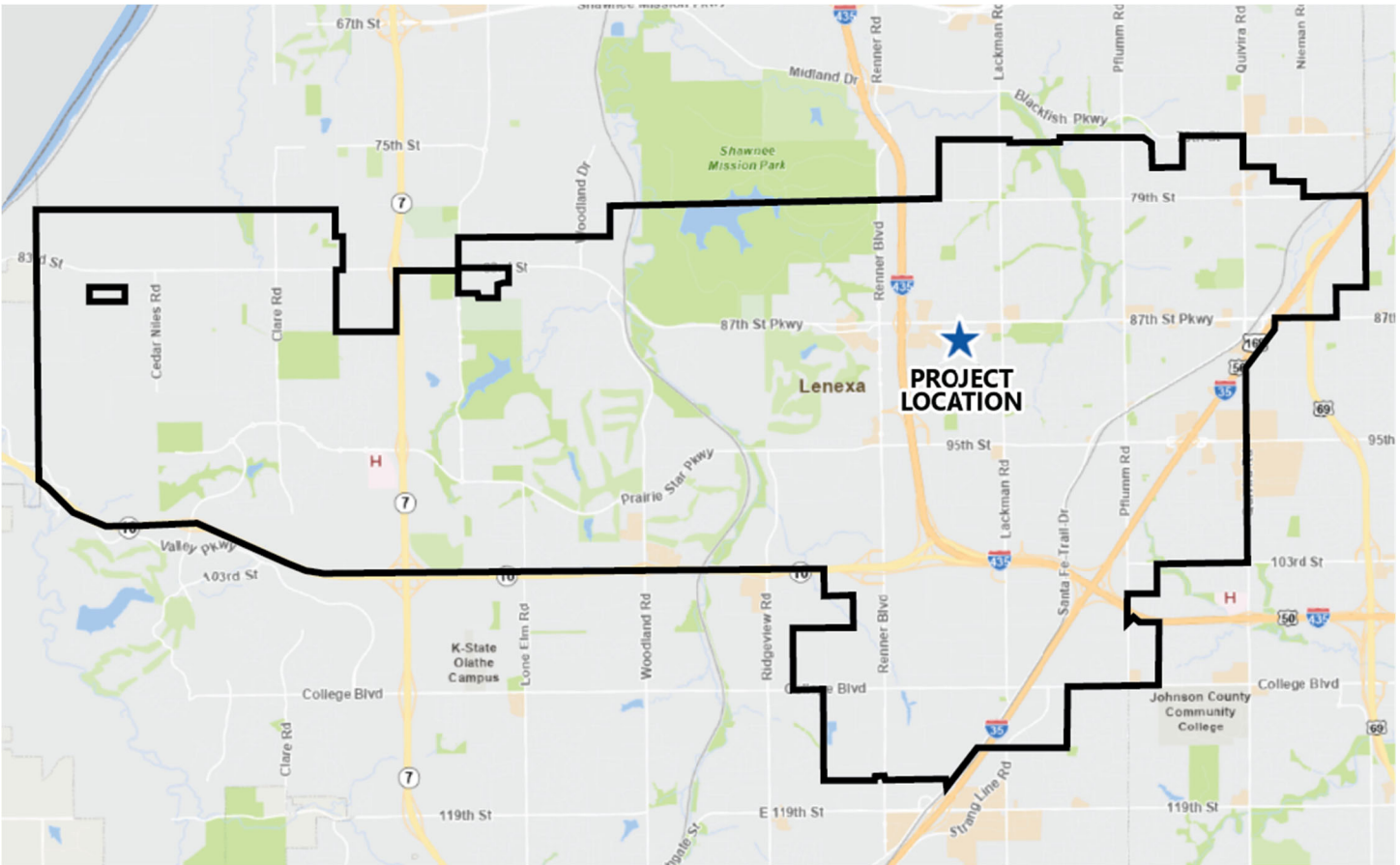






# SONOMA PLAZA PHASE 3 APARTMENTS

<b>Project #:</b>	PL25-01F	<b>Location:</b>	SEC of 88 <sup>th</sup> St and Maurer Rd
<b>Applicant:</b>	Rick Oddo, Oddo Development & Henry Klover, Klover Architects	<b>Project Type:</b>	Final Plan
<b>Staff Planner:</b>	Dave Dalecky	<b>Proposed Use:</b>	Multifamily Residential



## PROJECT SUMMARY

The applicant requests final plan approval of a multifamily development in the Sonoma Plaza Planned Unit Development (PUD) at 88th Street and Maurer Road. The planned structure features a four-five-story split, with one level of parking and four levels of apartments. The parking area covers 85,000 square feet, while the entire building totals 248,060 square feet, including 218 dwelling units. A revised preliminary plan (PL24-01PR) was approved in August 2024 replacing a two-story, 44,000 SF senior living facility in the southeast corner with the new apartment building. The proposed final plan is in conformance with the approved revised preliminary plan.

**STAFF RECOMMENDATION: APPROVAL**



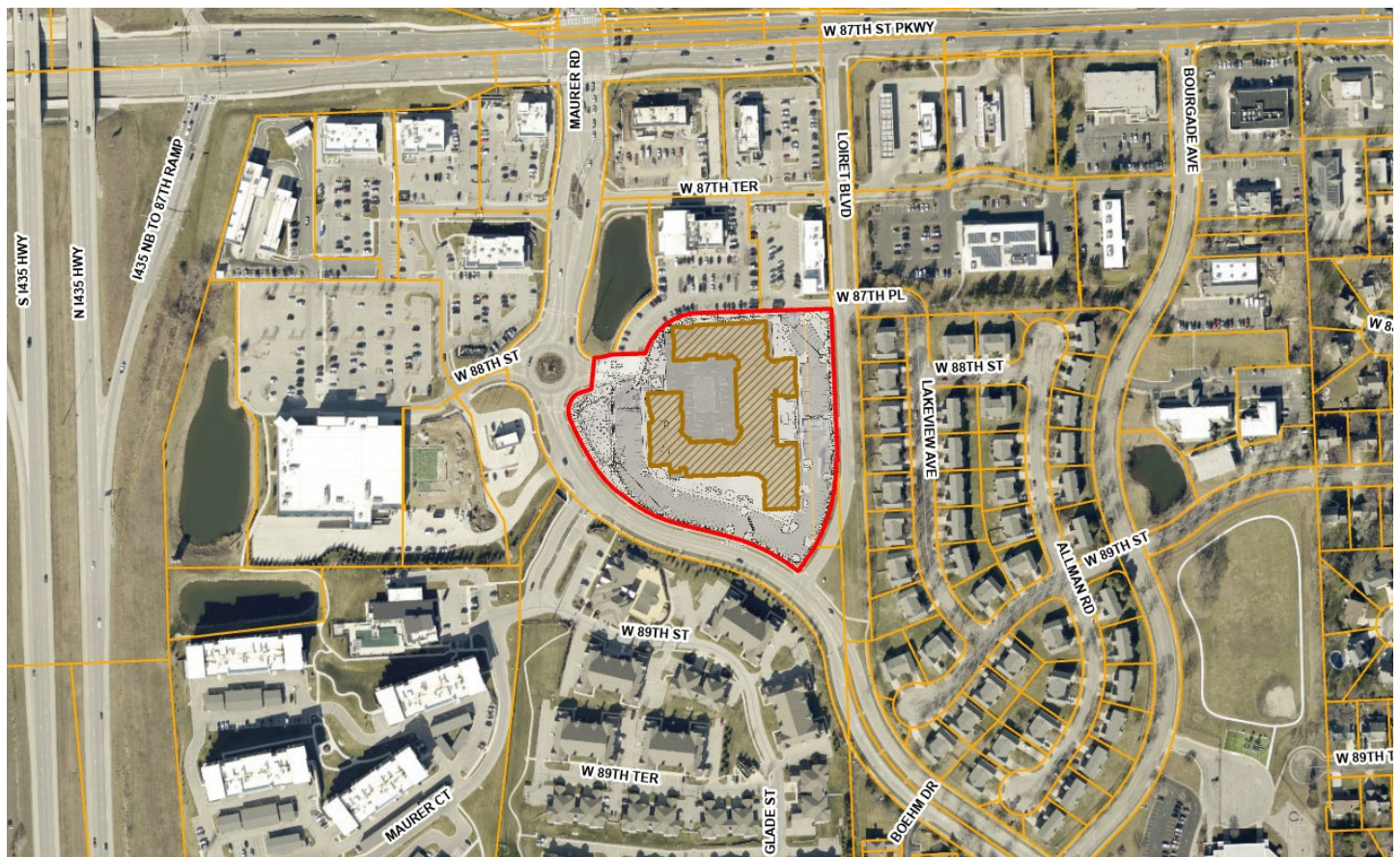
## SITE INFORMATION

This site is part of the Sonoma Plaza Planned Unit Development. The PUD was established in 2016 under the rezoning (RZ16-07) and preliminary plan (PL16-04P).

The subject site was originally planned for 44,000 square feet of senior living with an unspecified number of dwelling units. Senior living projects are considered as a multifamily use in the Unified Development Code (UDC) unless certain assisted living or medical services are provided in the facility. A set of design guidelines for future development within the PUD was approved at that time. The preliminary plan also served as the preliminary plat.

The preliminary plan for Sonoma Plaza PUD was updated in 2021 as part of the preliminary plan for Charlie’s Car Wash (PL21-01PR) and again in August 2024 (PL24-01PR) to amend the senior living component into multifamily residential development with no age restriction. The approval also included a final plat application and received approval with two conditions: meeting access requirements for aerial fire apparatus and that the plat shall not be recorded until the final plan has been approved by the City.

LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
5.18 (Parcel)	248,060	PUD	Community Commercial Center
14.24 (Planning Area)			



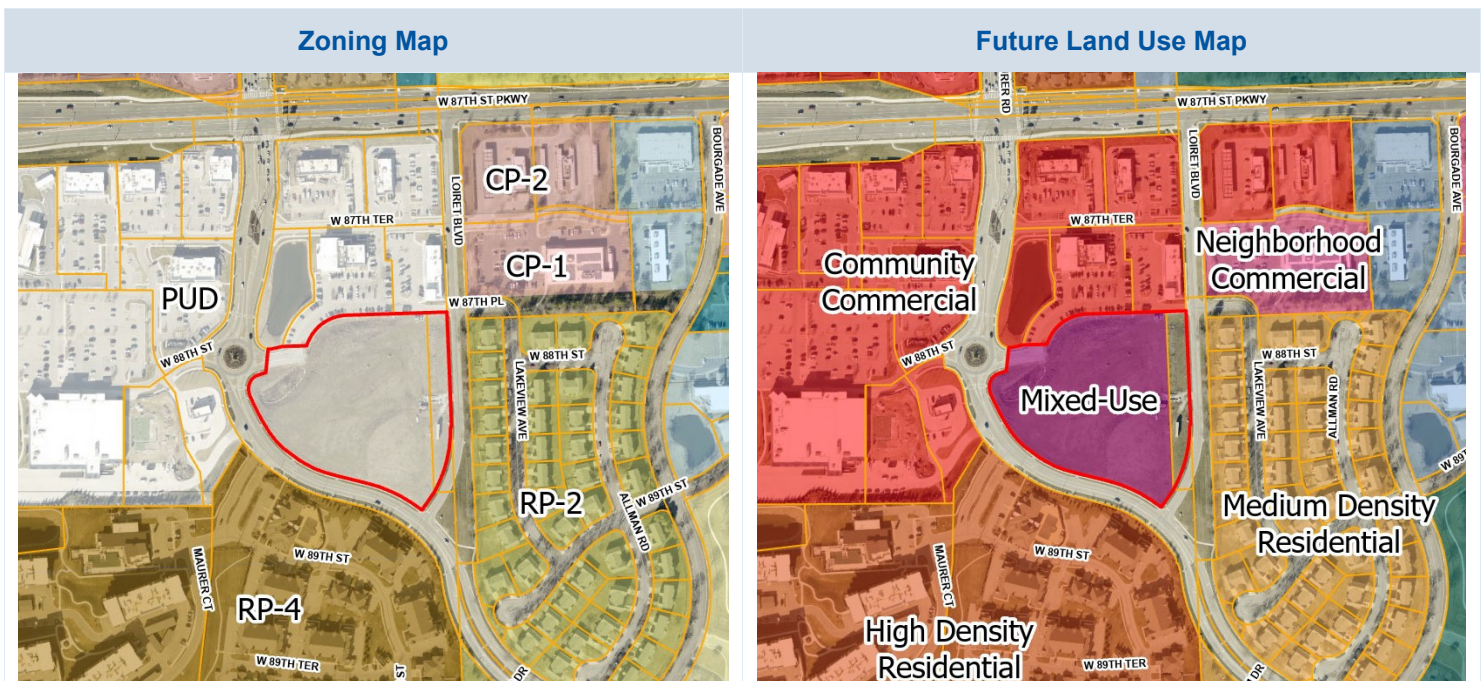
**Exhibit 1: Aerial Image of Subject Site**



## LAND USE REVIEW

This application is for final plan for a multifamily residential use. The proposal includes 218 apartments within one building. The building is a four-five-story split building, four stories facing east and five stories facing west. The proposed final plan is consistent with the approved preliminary plan.

The site is part of the Sonoma Plaza Planned Unit Development (PUD). The PUD Zoning District is intended to accommodate a wide variety of use types and provide flexibility from use and site development regulations to encourage unique, high-quality development. The preliminary plans for Sonoma Plaza were approved in 2016, 2021, and most recently in August of 2024. This is the final remaining parcel to be developed in Sonoma Plaza.



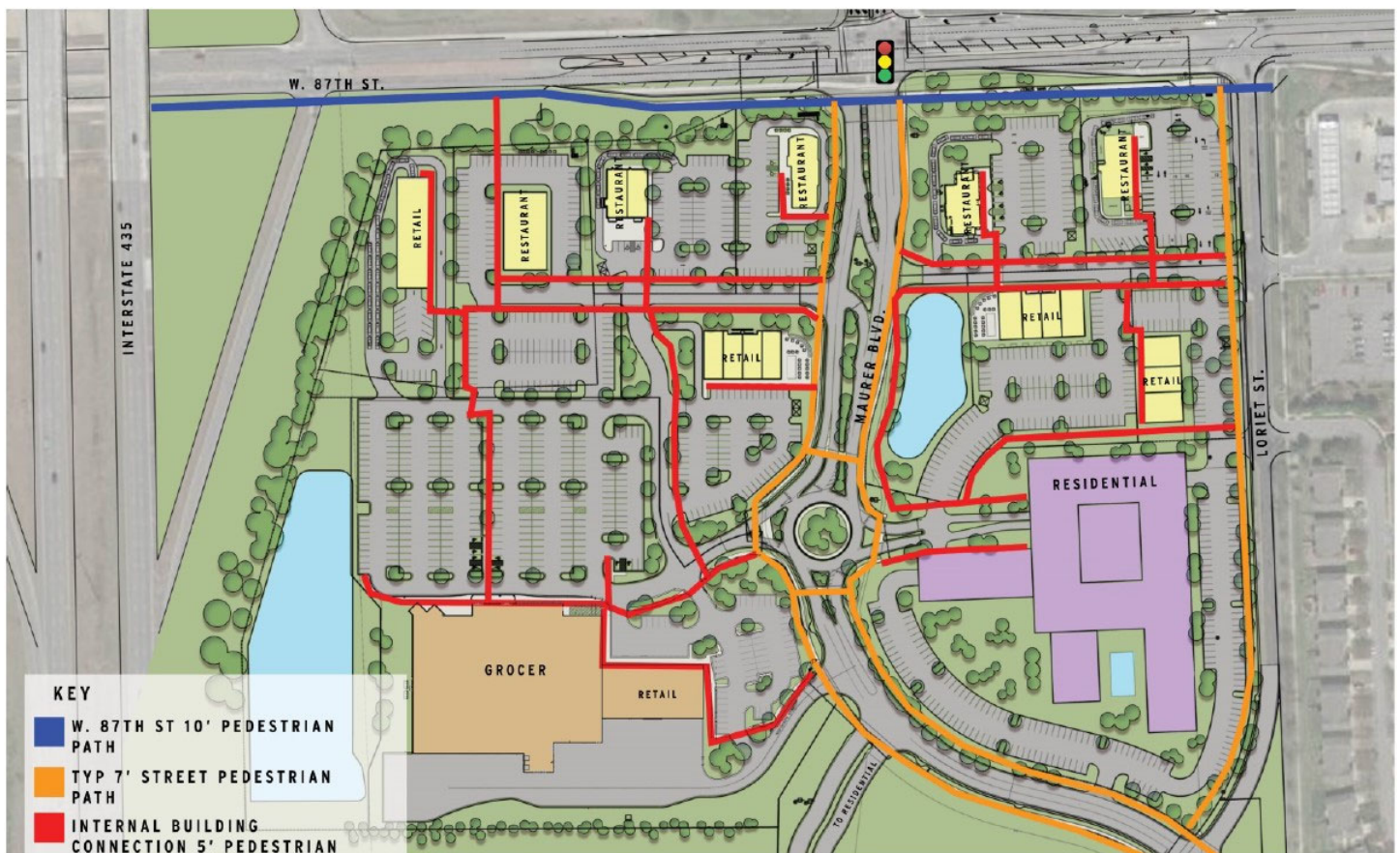
**TABLE 1: COMPARISON OF SURROUNDING PROPERTIES**

Vicinity	Land Use Designation	Zoning	Current Use
<b>Subject Property</b>	Community Commercial Center	PUD, Planned Unit Development	Undeveloped
<b>North</b>	Community Commercial Center	PUD, Planned Unit Development	Commercial
<b>South</b>	Community Commercial Center	RP-4, Residential Planned (High-Density)	Multifamily
<b>East</b>	Medium Density Residential	RP-2, Residential Planned (Intermediate-Density)	Duplexes
<b>West</b>	Community Commercial Center	PUD, Planned Unit Development	Commercial

## FINAL PLAN REVIEW

The proposed final plan is consistent with the approved preliminary plan. The Sonoma Plaza PUD is designed primarily as a commercial center with retail, restaurant, and service uses. Parking is shared among uses to support an efficient and flexible commercial center design. The multifamily component of the overall development is at the southeast part of the site, bordering Loiret Boulevard and Maurer Road.

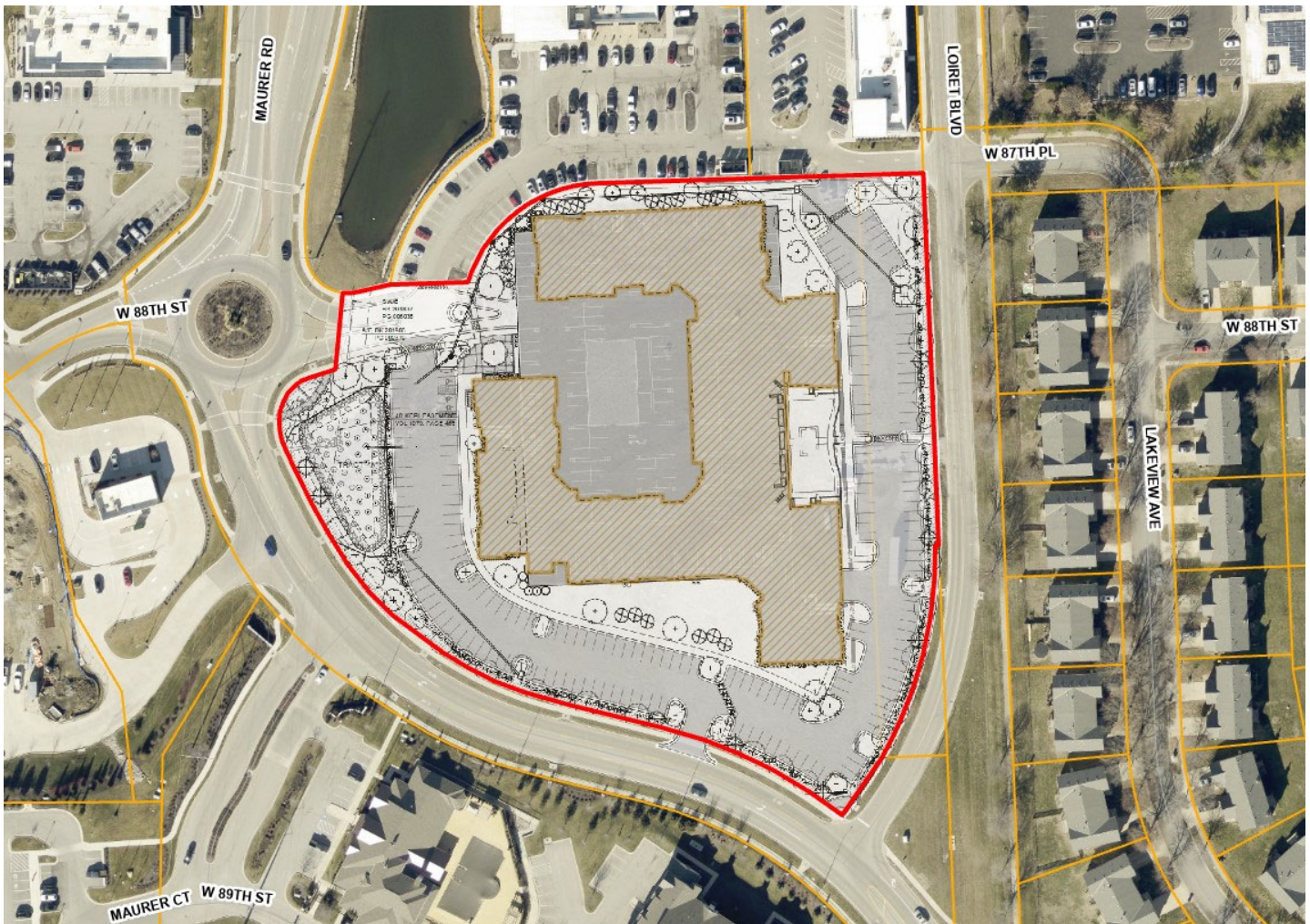
Sidewalk circulation is an important feature of Sonoma Plaza as each site is in close proximity to encourage pedestrian circulation and for customers and visitors to park once and walk from site to site. Several of the sidewalks use a decorative pavement pattern at the crosswalk locations. The pavement pattern is consistent stamped and colored pavement. This is to establish a thematic continuity throughout the development. The primary pedestrian routes use the decorative pavement.



**Exhibit 2: Pedestrian circulation diagram from Sonoma Plaza Design Guidelines.**

The site includes several outdoor spaces for pedestrians to sit as they walk throughout the site. These spaces are small plaza areas with amenities such as an enlarge paved space, decorative pavement patterning, benches, and enhanced landscaping. The small plazas are located along the pedestrian paths that connect to the building entrances on the east and west sides of the site.





**Exhibit 3: Site Plan.**

### **DIMENSIONAL STANDARDS**

Setbacks within the PUD are flexible with the intent of creating a unique development. The apartment building is closest to the property line at the north, setback ten feet at the northwest corner. Building setbacks in the Sonoma Plaza PUD vary and in some cases are just a few feet from the property line. This is an intentional design trait of Sonoma Plaza to allow a more compact development.

The proposed building is a four-five-story split height building. The four-story façade faces east, and the five-story façade faces west. The building height varies with the grade change across the site. The grade descends from east to west. The tallest point of building height is 64 feet and 8 inches.

### **PUBLIC IMPROVMENTS**

The entrance to the site will tie into the existing roundabout at 88<sup>th</sup> Street and Maurer Road. Maurer Road is now constructed to the public standard with existing sidewalks. No public improvements are planned with this project.

### **ACCESS, TRAFFIC, AND PARKING**

The main access to the development is a drive entrance from the roundabout on Maurer Road. Two other access drives are provided, one at the northwest part of the site connecting from an internal drive of the development. The third entrance is a drive at the southeasterly part of the site connecting directly to Maurer Road. The vehicular

access is consistent with the original preliminary plan for the development. The drives connect with the two lots to the north of the site, which provide access around the entire building.

The ground floor of the building is a 201-stall parking structure. The site will include 200 surface parking spaces wrapping around the building.

Several spaces for bicycle racks are provided. The number of bicycle racks are determined as a ratio of the vehicle parking spaces.

The plans also account for additional parking that could be used for employees of the adjacent Red Door Grill restaurant.

Overall, the plans provide 401 vehicle parking spaces and 48 spaces for bicycle parking.

TABLE 2: PARKING ANALYSIS				
Land Use	Parking Formula	Required Parking	Proposed Parking	Difference
<b>Multifamily</b>		<b>391</b>	<b>392</b>	<b>+1</b>
Studio (7 units)	1 space per unit	7		
1-Bedroom (161 units)	1.5 spaces per unit	241.5		
2-Bedroom (50 units)	1.75 spaces per unit	87.5		
Guest Parking (218 units)	0.25 spaces per unit	54.5		
<b>Auxiliary Restaurant Parking</b>		-	<b>9</b>	<b>+9</b>
<b>Total Parking</b>		<b>391</b>	<b>401</b>	<b>+10</b>

## STORMWATER

Stormwater management for this property was included within the overall Sonoma Plaza stormwater management report. The original drainage infrastructure intent for this site consisted of providing bio-retention to treat the stormwater. Due to space limitations with the proposed project, the applicant has modified the proposed drainage infrastructure for the site to consist of a smaller bio-retention facility, with the addition of an underground infiltration and detention facility to provide for the change or difference caused by reducing the bio-retention size. The stormwater addendum for this lot demonstrated that a comparable level of treatment will be provided with this modification as was originally approved.

## FIRE PREVENTION

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal.

## LIGHTING

Sonoma Plaza specifies various light fixtures including parking lot light standards, building mounted light fixtures, and pedestrian light fixtures in the design guidelines document. These specific light fixtures will be specified in construction plans submitted for a building permit. The exterior lighting is required to meet the provisions of [Section 4-1-C-4-I](#) of the UDC.





## ARCHITECTURE

The building design is consistent with the Sonoma Plaza Design Guidelines. The intent of the guidelines is to ensure that buildings have common elements including a palette of exterior materials. The existing buildings in the PUD use a mix of stone, brick, metal panels, EIFS, composite wood siding, and storefront windows. Materials for the multifamily building include tan cast-stone, red and brown brick, brown/beige Hardie board, dark bronze aluminum storefront windows, tan stone veneer, and tan and beige EIFS. The design guidelines require that above-ground parking structures shall be shielded by storefronts or other building uses where possible. In accordance with the design guidelines, the aluminum storefront windows of the ground floor parking deck present as a storefront facade rather than parking garage.

The garage level establishes a defined base level of the building, features such as awnings and materials changes at the intermediate floors establish a middle level and top level to the building to create a well-proportioned balance to the building.

The building has multiple articulations along each façade. Pronounced articulated sections of the building are framed with vertical masonry elements. The design balances the scale of the building with the context of the surroundings.

The amenity space for the residents, containing the pool and deck area is within an internal courtyard space. The space is open facing out to the west. The open section of the building is the façade that is five-stories. The break in the façade also reduces the scale of the building.



*Exhibit 5: West elevation rendering.*





*Exhibit 6: East elevation rendering.*

## DEVIATIONS

The applicant is not requesting any deviations from the Unified Development Code (UDC).

## NEXT STEPS

- The Planning Commission is the final authority for approval of this project.
- The final plat must be recorded with Johnson County prior to permit(s) being released.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant must obtain a Certificate of Occupancy before opening for business.
- The applicant should inquire about additional City requirements and development fees.

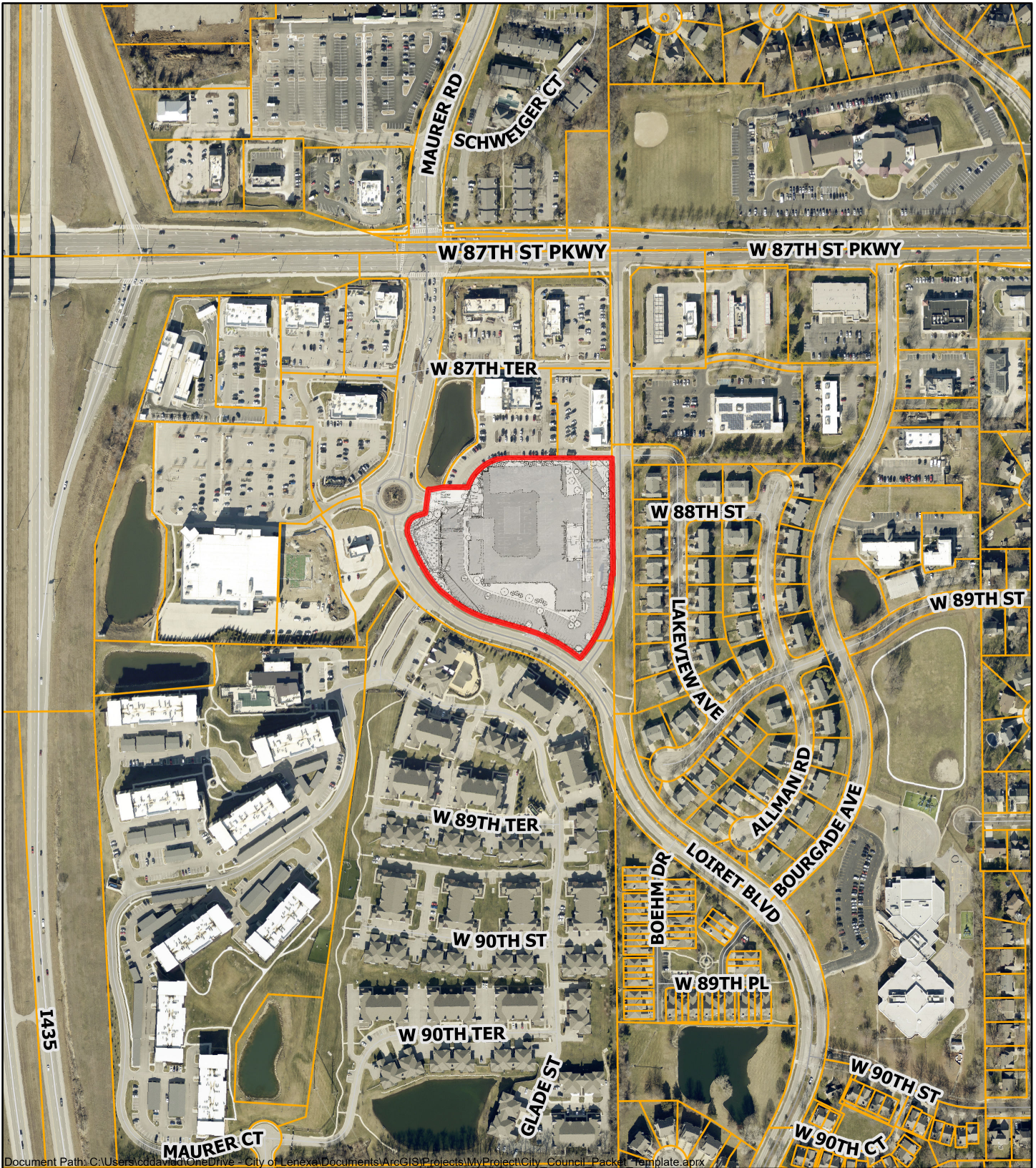
## RECOMMENDATION FROM PROFESSIONAL STAFF

- ★ **Staff recommends approval of the Final Plan for Sonoma Plaza Phase 3 Apartments.**
  - The development is consistent with the Sonoma Plaza preliminary plan.
  - The project is consistent with Lenexa's goals through *Responsible Economic Development* and *Strategic Community Investment* to create *Inviting Places* and *Vibrant Neighborhoods*.

## FINAL PLAN

Staff recommends **approval** of the final plan for PL25-01F - **Sonoma Plaza Phase 3 Apartments** east of 88<sup>th</sup> Street and Maurer Road, for a multifamily residential development.

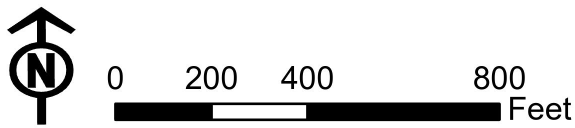




Document Path: C:\Users\coddavid\OneDrive - City of Lenexa\Documents\ArcGIS\Projects\MyProject\City Council Packet Template.aprx

Data Source: City of Lenexa and Johnson County Kansas  
For further information, please call 913-477-7500

# Sonoma Plaza Phase 3 Apartments Final Plan

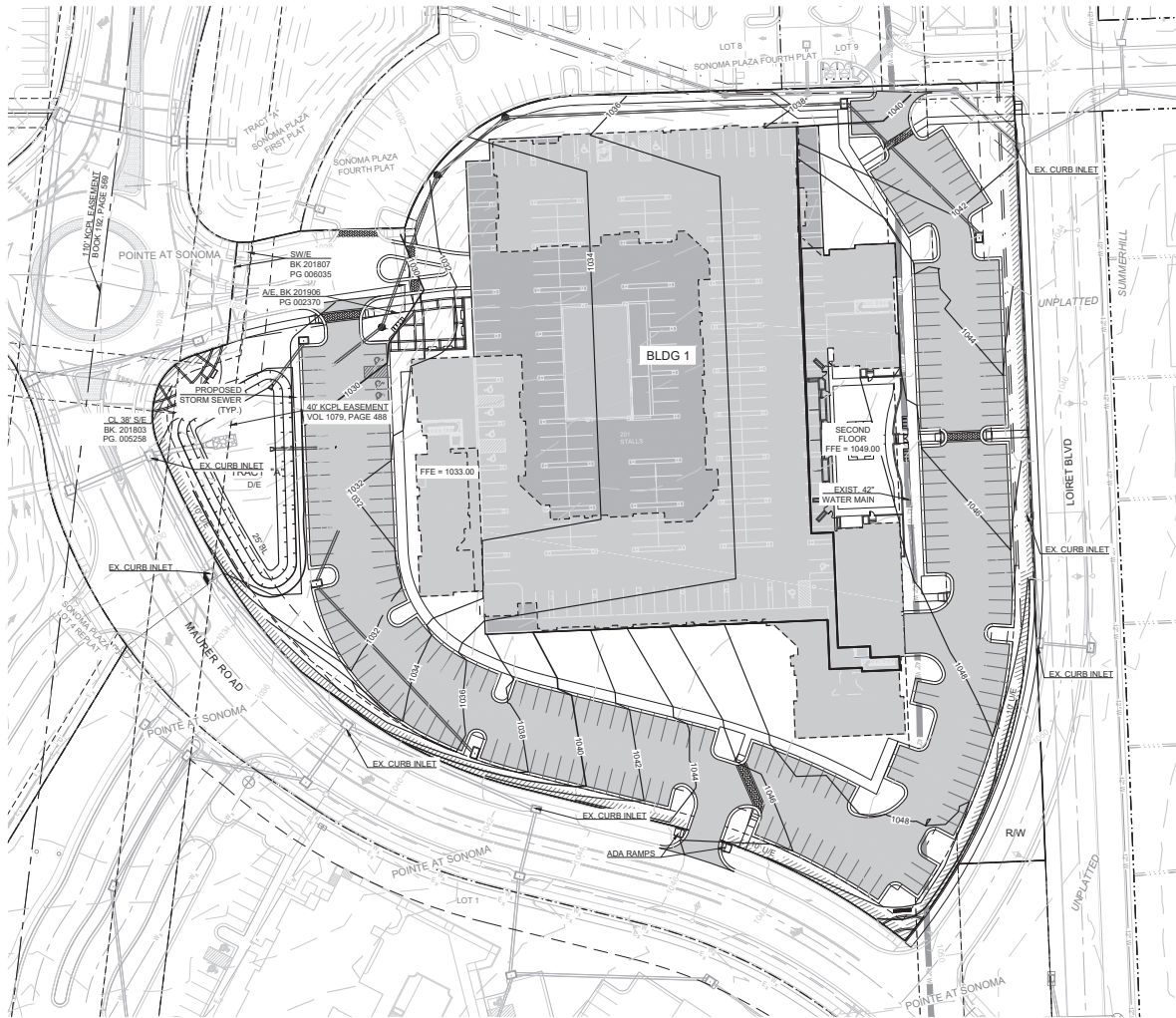












**GENERAL GRADING/EARTHWORK NOTES**

- All earthwork shall conform to the Geotechnical Report prepared for this specific project. It is recommended that a Geotechnical Engineer observe and document all earthwork activities.
- Contours have been shown at 1-foot or 2-foot intervals, as indicated. Grading shall consist of completing the earthwork required to bring the physical ground elevations at the existing site to the finished grade (or sub-grade) elevations provided on the plans as spot grades, contours or other means as indicated on the plans.
- The existing site topography depicted on the plans by contouring has been established by field verified proposed by SchlageL and Associates, P.A. The contour elevations provided may not be exact ground elevations, but rather interpretations of such. Accuracy shall be considered to be such that not more than 10 percent of spot elevation checks shall be in error by more than one-half the contour interval provided, as defined by the National Map Accuracy Standards. Any quantities provided for earthwork volumes are established using the topography contour accuracy, and therefore the inherent accuracy of earthwork quantity is measured from the topography accuracy.
- Proposed contours are to approximate finished grade.
- Unless otherwise noted, payment for earthwork shall include backfilling of the curb and gutter, sidewalks and further improvement of utility trench spots. The site shall be left in a reasonable condition and positive drainage maintained throughout.
- Unless otherwise noted, all earthwork is considered unexcavated. No additional compensation will be provided for rock or shale excavation, unless specifically stated otherwise.
- Prior to earthwork activities, pre-disturbance erosion and sediment control devices shall be in place per the Storm Water Pollution Prevention plan and/or the Erosion and Sediment Control Plan prepared for this site.
- All spoil shall be stripped from all areas to be graded and stockpiled adjacent to the site at an area specified by the project owner or his appointed representative.
- Vegetation, trees, stumps, tree roots and stumps, rock fragments greater than 6-inches and other deleterious materials shall be removed and properly disposed of off-site or as directed by the owner or his appointed representative.
- Unless otherwise specified in the Geotechnical Report, all fill shall be placed in maximum 6-inch lifts and compacted to 95 percent of maximum density as defined using a modified proctor test.
- Subgrade for pavements shall be pre-rolled prior to paving operations utilizing a fully loaded tandem axle dump truck. All areas exhibiting excessive pumping and heaving shall be removed, filled and compacted with suitable materials and re-rolled until acceptable results are achieved and final approval has been obtained from the Geotechnical Engineer.
- Subgrade for building pads shall include a minimum of 18-inches of Low Volume Change (LVC) material, or as identified in the specific Geotechnical Report.
- Fill materials shall be per Geotechnical Report and shall not include organic matter, debris or trash. All fill placed on areas greater than 6' x 1' shall be bermed.
- The Contractor shall be responsible for redistributing the topsoil over proposed turf and landscaped areas to a minimum depth of 4-inches below final grade.
- All areas shall be graded for positive drainage. Unless noted otherwise the following shall apply:
  - Turf Areas - 2% Minimum, 4% Maximum
  - Paved Areas - 1.2% Minimum, 5% Maximum
  - Sidewalks - 2% Minimum, 4% Maximum
- All sports field turf areas shall be graded smooth and level without any ruts, ridges or dips and 100% prior to seeding.
- All ADA parking stalls shall not be sloped greater than 2% in any direction and constructed per ADA requirements.
- All disturbed areas shall be fertilized, seeded and mulched immediately after earthwork activities have ceased. Seeding shall be per the Erosion and Sediment Control Plan and/or Landscape Plan. If not specified seeding shall be per APWA Section 2400, latest edition. Unless otherwise noted, seeding shall be satisfactory for the contract price for earthwork and grading activities.
- All disturbed areas in the right-of-way shall be seeded per city requirements. Underseeds are recommended for all paved areas adjacent to irrigated turf and landscaped beds.
- Contractor shall adhere to the reporting requirements outlined in the Storm Water Pollution Prevention Plan (SWPPP) prepared for this project. Erosion and Sediment Control devices shall be properly maintained and kept clean of all debris and in good working order. Additional erosion and sediment control measures shall be installed as required.
- RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.
- EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM BASE SURVEY PREPARED BY R.L. BUFORD & ASSOCIATES LLC - VERIFY GRADES PRIOR TO COMMENCEMENT OF GRADING AND CONSTRUCTION ACTIVITIES. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF OF MATERIAL.
- ALL ROCK, CONCRETE, ASPHALT, TREE BRUSH, ETC. TO BE REMOVED AS A PART OF THE PROJECT CONSTRUCTION SHALL BE DISPOSED OF BY THE GRADING CONTRACTOR AND SHALL BE A SUBSIDIARY OBLIGATION OF THE CONTRACTOR. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR ALL GRADING ON THE SITE INCLUDING THE MANIPULATION OF THE EXCESS DIRT MATERIAL THAT WAS LEFT ALONG THE SEWER TRENCHES FOR THIS WORK WILL BE INCLUDED IN THE LUMP SUM FEE FOR GRADING.
- ENTIRE PROJECT SHALL BE LEFT IN A MOVABLE CONDITION. ALL DISTURBED AREAS SHALL BE RESEED & MULCHED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SEEDDED IN COMPLIANCE WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TREES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
- RETAINING WALL DESIGN IS BY THE CONTRACTOR, WALL SUPPLIER, OR OWNER CONSULTANT. SCHLAGEL & ASSOCIATES, P.A. IS NOT RESPONSIBLE FOR THE RETAINING WALL DESIGN. BOTTOM OF WALL FINISH GRADE (BFG) IS AT EXISTING GRADE. BOTTOM OF WALL TO BE DETERMINED BY WALL DESIGNER. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR THE WALL.

**GRADING LEGEND:**

- TV XX.XX GRADE A TOP OF WALL
- BW XX.XX GRADE AT BASE OF WALL
- F.F.E. FINISHED FLOOR ELEVATION
- - - 1023 - - - EXISTING CONTOUR
- 1023 — PROPOSED CONTOUR



PREPARED BY:  
SCHLAGEL & ASSOCIATES P.A.

**SONOMA PLAZA - PHASE 3 APARTMENTS  
FINAL DEVELOPMENT PLANS  
MAURER RD & LOIRET BLVD LENEKA, KS**

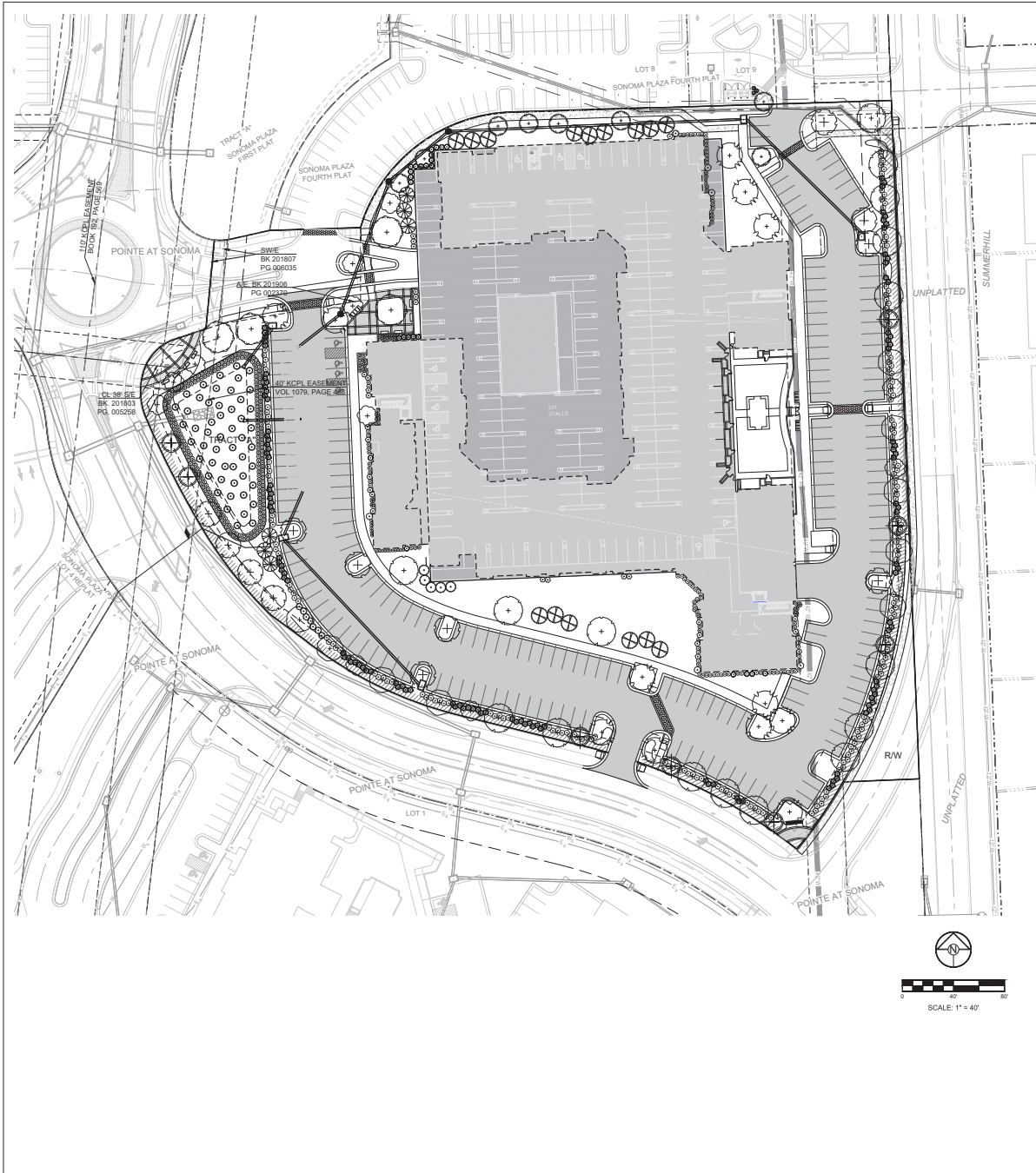
REVISION DATE	DESCRIPTION	DATE	BY	CHK'D BY

**GRADING PLAN**

SHEET  
**C2.0**

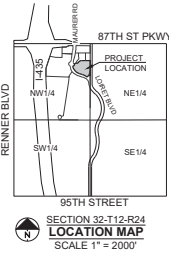






**NOTES:**

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED IN THE PLANS ARE FOR CONFORMANCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLANT QUANTITIES AND SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LENEXA STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- THE QUALITY AND INSTALLATION OF THE TREES AT A MINIMUM SHALL COMPLY WITH THE UFI AND URBAN TREE FOUNDATION TREE STANDARDS AND SPECIFICATIONS.
- NEW OR EXISTING UNDERGROUND UTILITY LOCATIONS SHALL BE IDENTIFIED BY WRITTEN SPECIFICATIONS FOR THIS PROJECT PROVIDED ON THE DETAIL SHEETS AND/OR SEPARATE SPECIFICATION BOOK.
- ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE LENEXA ORDINANCE. ALL TREES SHALL BE CALLED PER AND UNDERGROUNDS SHALL BE PERMITTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A 1/2" CUT EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS SHALL BE SOODED UNLESS INDICATED ON THE PLANS.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LENEXA PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SOODING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LENEXA STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE FROM BACK OF CURB TO THE CENTER OF SHRUBS OR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
- AN IRRIGATION SYSTEM OR HOSE BIBS MUST BE INSTALLED WITHIN 100 FEET OF ANY LANDSCAPE AREA IS REQUIRED BY LENEXA CODES. CONTRACTOR TO PROVIDE IRRIGATION/WATERING PLAN AND DESIGN BUILD. THE LOCATION OF HOSE BIBS AND ANY IRRIGATION WILL BE PROVIDED WITH THE CONSTRUCTION PLANS.
- IN THE EVENT OF WORK OR ON THE JOB SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THEREOF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- ALL PARKING LOT ISLANDS TO BE MULCHED WITH KANSAS RIVER ROCK.



LANDSCAPE CALCULATION TABLE			
DESCRIPTION	ORDINANCE REQUIREMENT	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
PERIMETER PLANTING ALONG STREETS WEST BOUNDARY MAURER ROAD (COLLECTOR) STREET FRONTAGE = 454.28 L.F.	3 SHADE TREES PER 100 FT. 12 SHRUBS PER 100 FT. 75 S.F. OF BED PER 100 FT. PARKING TO BE 100% SCREENED	13 SHADE TREES 7 ORNAMENTAL TREES 86 SHRUBS 488.21 S.F. BED	13 SHADE TREES 7 ORNAMENTAL TREES 160 SHRUBS 597.46 S.F. BED
PERIMETER PLANTING ALONG STREETS EAST BOUNDARY LOIRET BOULEVARD (COLLECTOR) STREET FRONTAGE = 484.41 L.F.	3 SHADE TREES PER 100 FT. 12 SHRUBS PER 100 FT. 75 S.F. OF BED PER 100 FT.	12 SHADE TREES 6 ORNAMENTAL TREES 70 SHRUBS 437.82 S.F. BED	12 SHADE TREES 6 ORNAMENTAL TREES 151 SHRUBS 488.82 S.F. BED
PERIMETER PLANTING ALONG LOT LINES NORTH BOUNDARY 365.72 L.F.	1 SHADE TREE PER 100 FT. 9 SHRUBS PER 100 FT.	4 SHADE TREES 36 SHRUBS	7 SHADE TREES 12 EVERGREEN INSTEAD OF 36 SHRUBS 3 ADDITIONAL EVERGREEN TREES
INTERNAL PARKING LOT 70,615.06 S.F. PARKING AREA	LANDSCAPE AREA = 10% OF PARKING AREA 1 TREE PER 500 FEET OF LANDSCAPE AREA WITH AT LEAST 1 TREE PER ISLAND	7,061.51 S.F. L.S. AREA (10%) 24 TREES FOR LAND AREA 20 TREES (PER ISLAND)	6,536.58 S.F. 20 TREES
MONUMENT SIGN LANDSCAPE MAXIMUM SIGN AREA 24 X 8 FEET DEVIATION REQUESTED TO ALLOW MONUMENT SIGN ON LOT WITH FRONTAGE LESS THAN 200 FEET	LANDSCAPE AREA REQUIRED 3 TIMES SIGN AREA 1 SHADE TREE PER 500 S.F. 1 ORNAMENTAL TREE PER 200 S.F. 2 SHRUBS PER 20 S.F.	LANDSCAPE AREA 72 X 8 S.F. 1 ORNAMENTAL TREE 4 SHRUBS	LANDSCAPE AREA 8.7 S.F. SHADE TREE ORNAMENTAL TREE SHRUBS

SYMBOL	QUANTITY	EA.	PLANT NAME	COMMON NAME	SIZE	TYPE
+	1	EA.	Acer x freemanii 'Armstrong'	Armstrong Maple	2.5' Cal.	B&B
+	15	EA.	Acer rubrum 'Redpointe'	Redpointe Red Maple	2.5' Cal.	B&B
+	12	EA.	Acer truncatum 'Warrenred'	Pacific Sunset Maple	2.5' Cal.	B&B
+	4	EA.	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	2.5' Cal.	B&B
+	4	EA.	Quercus robur x bicolor (aka x warei) 'Lung'	Regal Prince Oak	2.5' Cal.	B&B
+	8	EA.	Ulmus x Frontier	Frontier Elm	2.5' Cal.	B&B
+	8	EA.	Zelkova serata 'Musashino'	Musashino Columnar Zelkova	2.5' Cal.	B&B
+	9	EA.	Tilia americana 'Redmond'	Redmond Linden	2.5' Cal.	B&B
+	8	EA.	Malus sp. 'Royal Raindrops'	Royal Raindrops Crabapple	2' Cal. & 8' H.	B&B
+	11	EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2' Cal. & 8' H.	B&B
○	5	EA.	Juniperus chinensis 'Keteleerii'	Keteleerii Juniper	6' H.	B&B
○	20	EA.	Juniperus chinensis 'Spartan'	Spartan Juniper	6' H.	B&B
○	3	EA.	Juniperus virginiana 'Monbel'	Prairie Pillar Juniper	5' H.	B&B
○	6	EA.	Picea abies	Norway Spruce	6' H.	B&B
○	15	EA.	Pinus strobus	White Pine	6' H.	B&B
●	52	EA.	Buxus x 'Green Gem'	Green Gem Boxwood	5 gal.	Cont.
●	36	EA.	Buxus x 'Green Velvet'	Green Velvet Boxwood	5 gal.	Cont.
●	187	EA.	Buxus microphylla var koronara	Korean Boxwood	5 gal.	Cont.
●	11	EA.	Buxus sempervirens 'Dee Runk'	Dee Runk Boxwood	5 gal.	Cont.
●	22	EA.	Hypericum kalmianum 'Blues Festival'	Blues Festival Hypericum	5 gal.	Cont.
●	13	EA.	Hydrangea quercifolia 'Little Honey'	Little Honey Oakleaf Hydrangea	5 gal.	Cont.
●	29	EA.	Ilex x meserveae 'Heckenstar' Plant Patent #14,308	Castle Wall® Blue Holly (Cas. Spire pot)	7 gal (4" H.)	Cont.
●	122	EA.	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal.	Cont.
●	19	EA.	Spiraea japonica 'Little Princess'	Little Princess Spiraea	5 gal.	Cont.
●	5	EA.	Syringa x 'Pendula'	Blooming Lilac	5 gal.	Cont.
●	8	EA.	Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Viburnum	5 gal.	Cont.
●	51	EA.	Cornus sericea	Redosier dogwood	5 gal.	Cont.
●	236	EA.	Hibiscus lasiocarpus	Rose Mallow	3 gal.	Cont.



PREPARED BY:

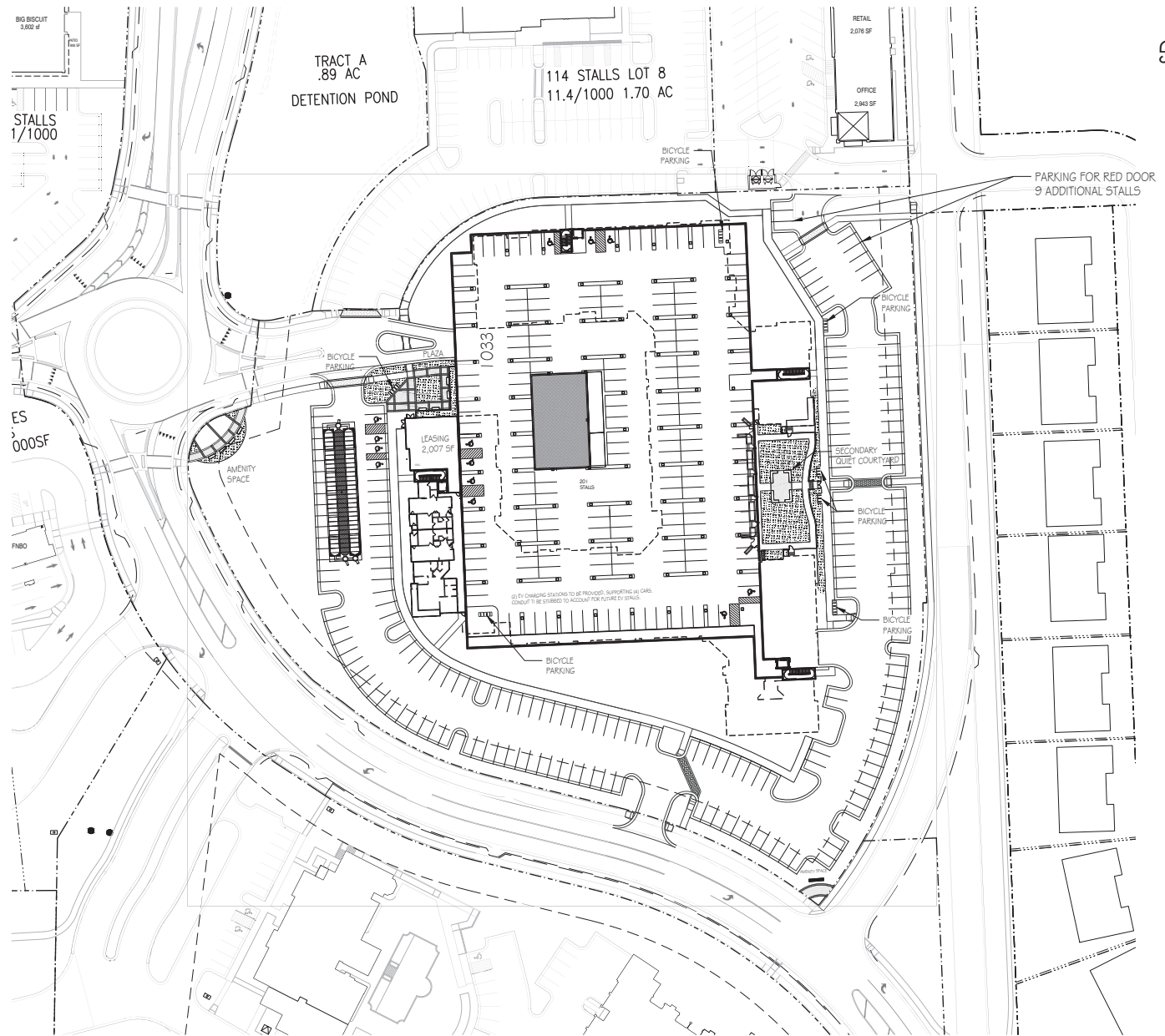
SCHLAGEL & ASSOCIATES P.A.

**SONOMA PLAZA - PHASE 3 APARTMENTS  
FINAL DEVELOPMENT PLANS  
MAURER RD & LOIRET BLVD LENEXA, KS**

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**LANDSCAPE PLAN  
SHEET  
L1.0**

SITE DEVELOPMENT TABLE	
SITE AREA: 5.83 AC	
ZONED: PUD # SUBJECT TO SONOMA PLAZA DESIGN GUIDELINES	
4 STORY APARTMENT OVER 1 LEVEL PARKING PODIUM	
218 UNITS / 14,238 AC PER PDP EXHIBIT: 15.31 U/A	
ALLOWED 16 U/A	
TOTAL UNITS: 218	
STUDIO: 7	
ONE BED: 140	
ONE BED + DEN: 21	
TWO BED: 50	
BUILDING SF: 248,060 SF	
GARAGE SF: 85,000 SF	
COMMON OPEN SPACE REQ: 7,950 SF	
COMMON OPEN SPACE PROVIDED	
25,200 SF PODIUM POOL DECK AMENITY	
PARKING REQUIRED:	
MULTI-FAMILY: 1/EFFICIENCY UNIT = 7	
1.5 / 1 BED = 241.5	
1.75 / 2 BED = 87.5	
(336 SUBTOTAL)	
+ .25 SPACES / UNIT VISITOR = 55 STALLS	
+ 9 RED DOOR STALLS	
TOTAL REQUIRED ON SITE PARKING: 400	
PARKING PROVIDED:	
SURFACE STALLS: 200 STALLS	
PODIUM GARAGE: 201 STALLS	
TOTAL PARKING PROVIDED: 401 STALLS	
(13 ADA STALLS INCLUDED)	
BICYCLE PARKING:	
1 SPACE REQUIRED PER 5 UNITS	
TOTAL REQUIRED:	44
TOTAL PROVIDED:	48



PROPOSED SITE PLAN 1  
SCALE: 1" = 40'

AS140 PHASE 3 SITE PLAN

SCALE: 1" = 40'

REVISED 12/16/2024

SONOMA PLAZA

ODDO DEVELOPMENT 11.25.2024



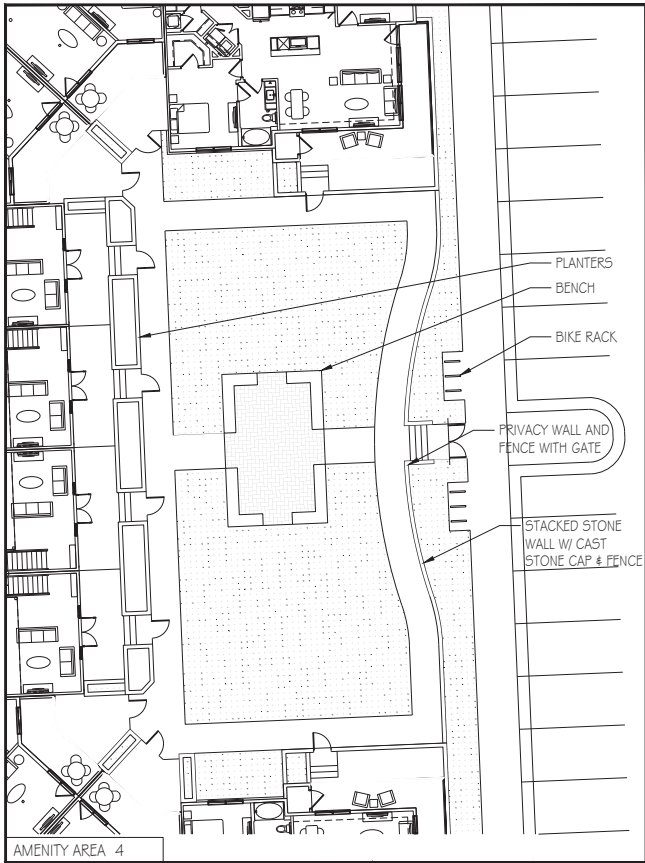
1085 LONNEL AVENUE, SUITE 200 • OVERLAND PARK, KS 66204  
PH: 913.888.8120 • FX: 913.884.1233 • WWW.KOVER.COM



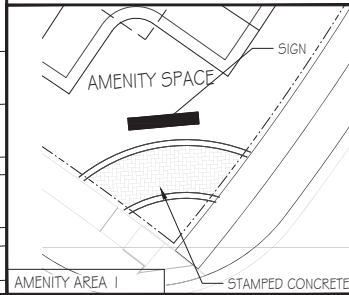
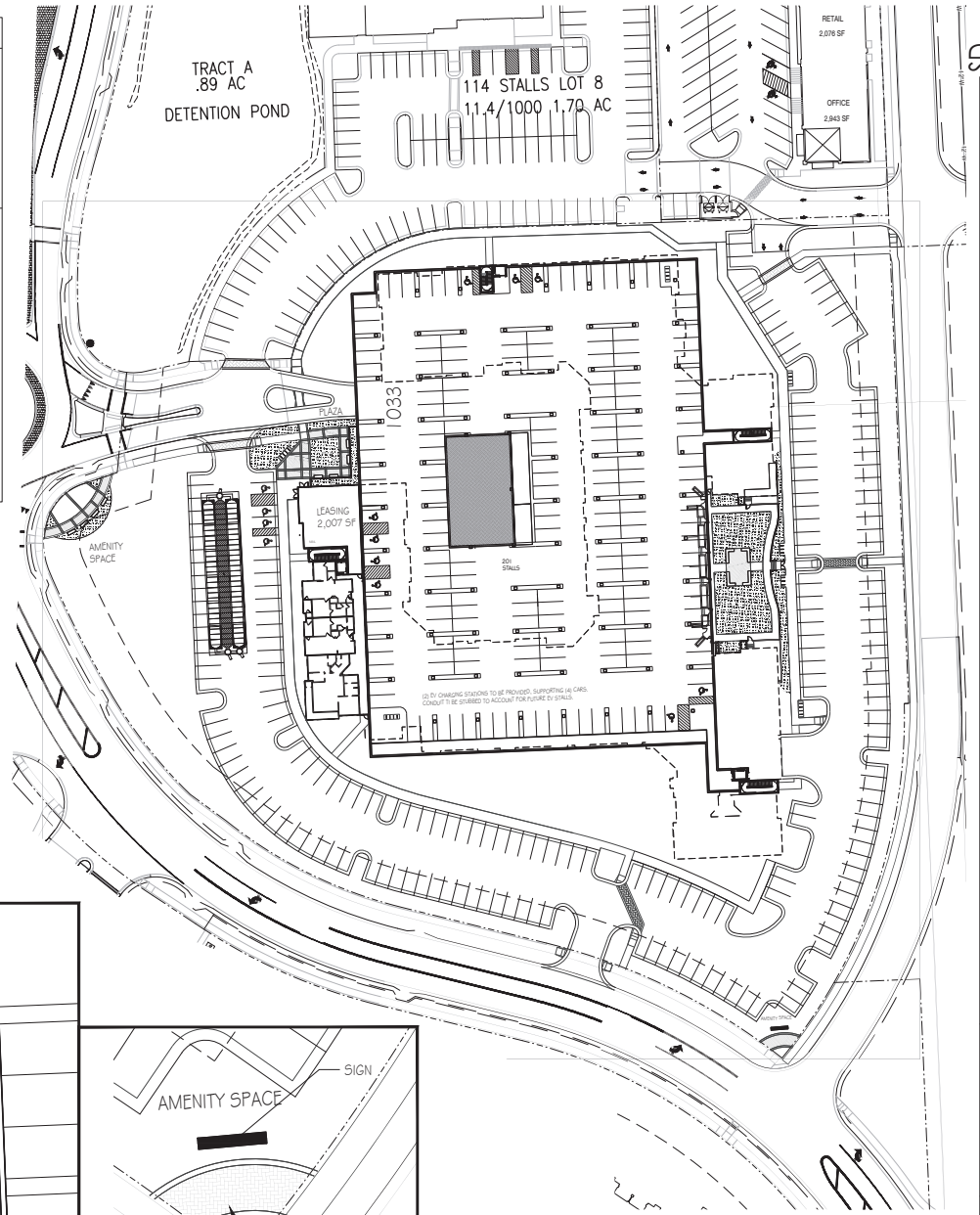
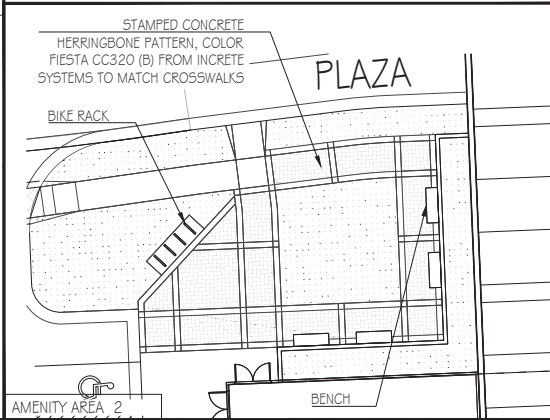
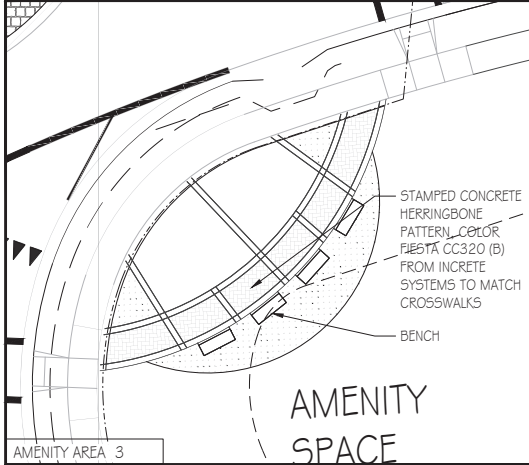
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SONOMA PLAZA

22187.003 | ODDO DEVELOPMENT



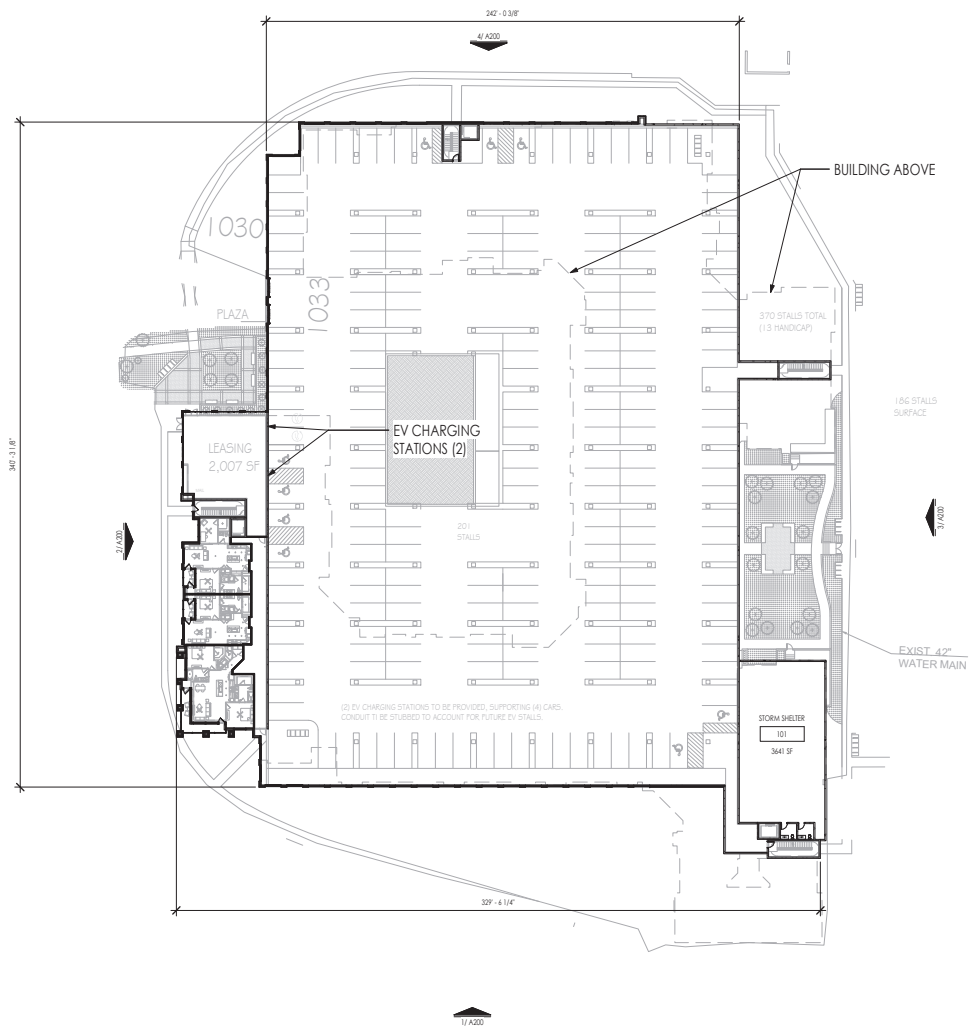
AMENITY AREA TABLE	
PEDESTRIAN-SCALE PUBLIC SPACE REQUIRED: 10 SF PER PARKING STALL.	
401 PARKING STALLS	
TOTAL REQUIRED:	4,010 SF
TOTAL PROVIDED:	4,858 SF
PUBLIC SPACE - AREA BREAKDOWNS	
AMENITY AREA 1:	898 SF
AMENITY AREA 2:	2,470 SF
AMENITY AREA 3:	1,490 SF
AMENITY AREA 4:	0 SF



PROPOSED SITE PLAN ①  
SCALE: 1" = 40'

AS142 SITE AMENITY PLAN  
SCALE: 1" = 40'





FLOOR PLAN KEYNOTES

Key Symbol	Keynote Text
---------------	--------------

**Kloverarchitects**  
 815 S BRONSON LANE, SUITE 400 • LENEXA, KS 66319  
 PH: 913.848.8181 • FX: 913.848.1275 • www.kloverarch.com

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project title  
**Owner**  
**SONOMA PHASE 3**  
**MAURIER RD & LOIRET BLVD**  
**LENEXA, KS**

project number  
 10000000  
 drawing issuance  
 11/20/2024  
 drawing revisions  
 No. Description: Date:

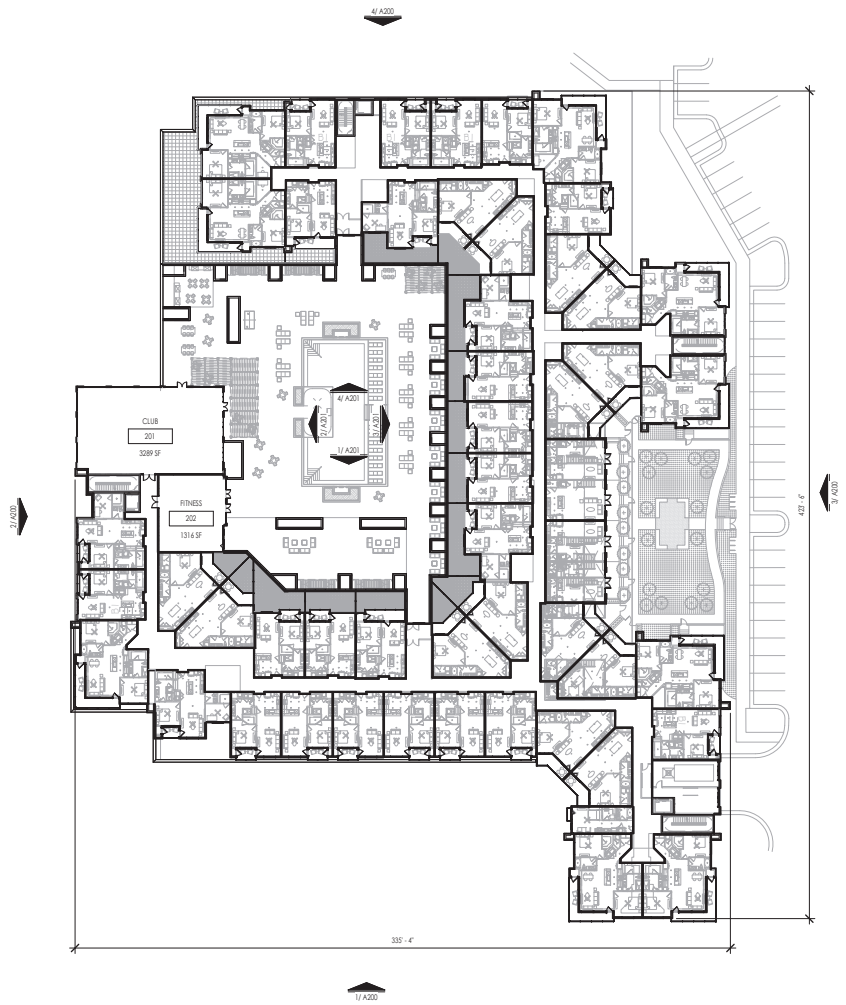
professional seal  
**NOT FOR CONSTRUCTION**

DATE SIGNED: 11/20/2024 8:22:48 AM

drawing title  
 1ST FLOOR PLAN

drawing number  
**A101**

1ST FLOOR PLAN  
 SCALE: 1" = 30'-0"



**FLOOR PLAN KEYNOTES**

Key Symbol	Keynote Text
---------------	--------------

**2ND FLOOR PLAN** ①  
SCALE: 1" = 32'-0"

**Klover architects**  
815 S BRONCOE LANE, SUITE 400 • LENEXA, KS 66319  
PH: 913.848.8181 • FX: 913.848.1275 • www.klover.net

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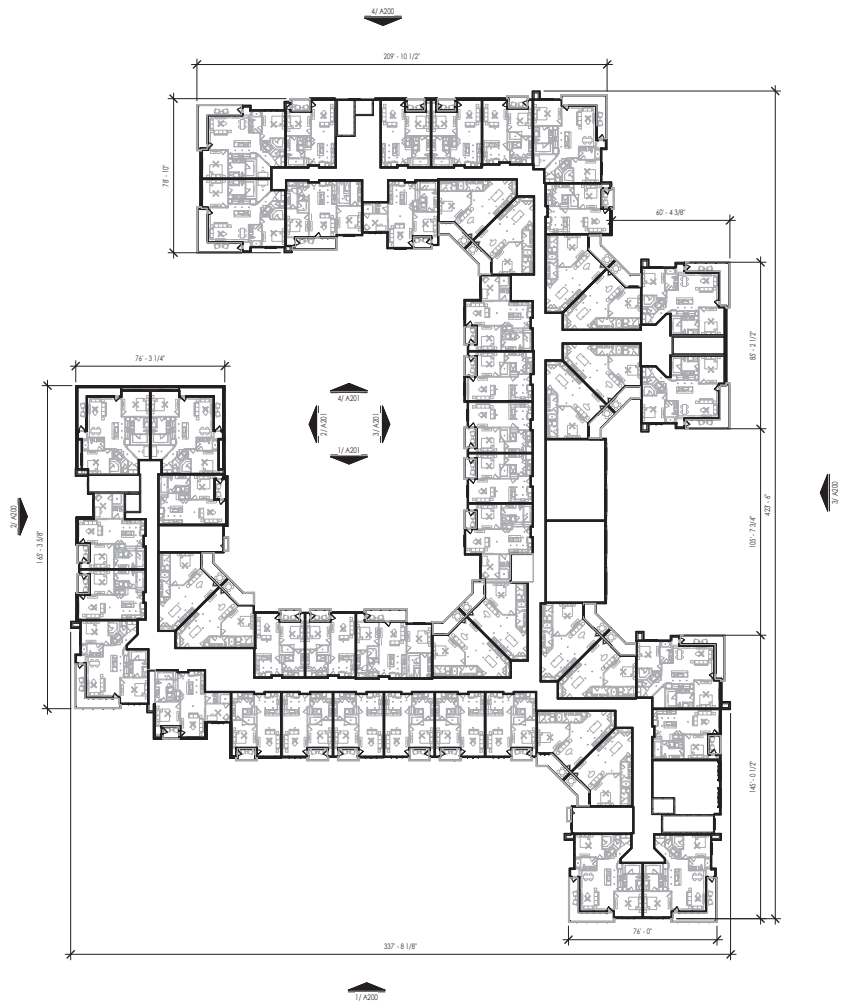
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**Owner**  
**SONOMA PHASE 3**  
**MAURER RD & LOIRET BLVD**  
**LENEXA, KS**

**project number** 1000-000  
**drawing issuance** 11/20/2014  
**drawing revisions** 11/20/2014  
No. Description Date

**professional seal**  
**NOT FOR CONSTRUCTION**

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**drawing title** SECOND FLOOR PLAN  
**drawing number** **A102**



**FLOOR PLAN KEYNOTES**

Key Symbol	Keynote Text
---------------	--------------

**3RD FLOOR PLAN** ①  
SCALE: 1" = 32'-0"



The Architect is not responsible for the safety of the building or the safety of the occupants. The Architect is not responsible for the safety of the building or the safety of the occupants. The Architect is not responsible for the safety of the building or the safety of the occupants.

The Architect is not responsible for the safety of the building or the safety of the occupants. The Architect is not responsible for the safety of the building or the safety of the occupants. The Architect is not responsible for the safety of the building or the safety of the occupants.

**Owner**  
**SONOMA PHASE 3**  
**MAURER RD & LOIRET BLVD**  
**LENEXA, KS**

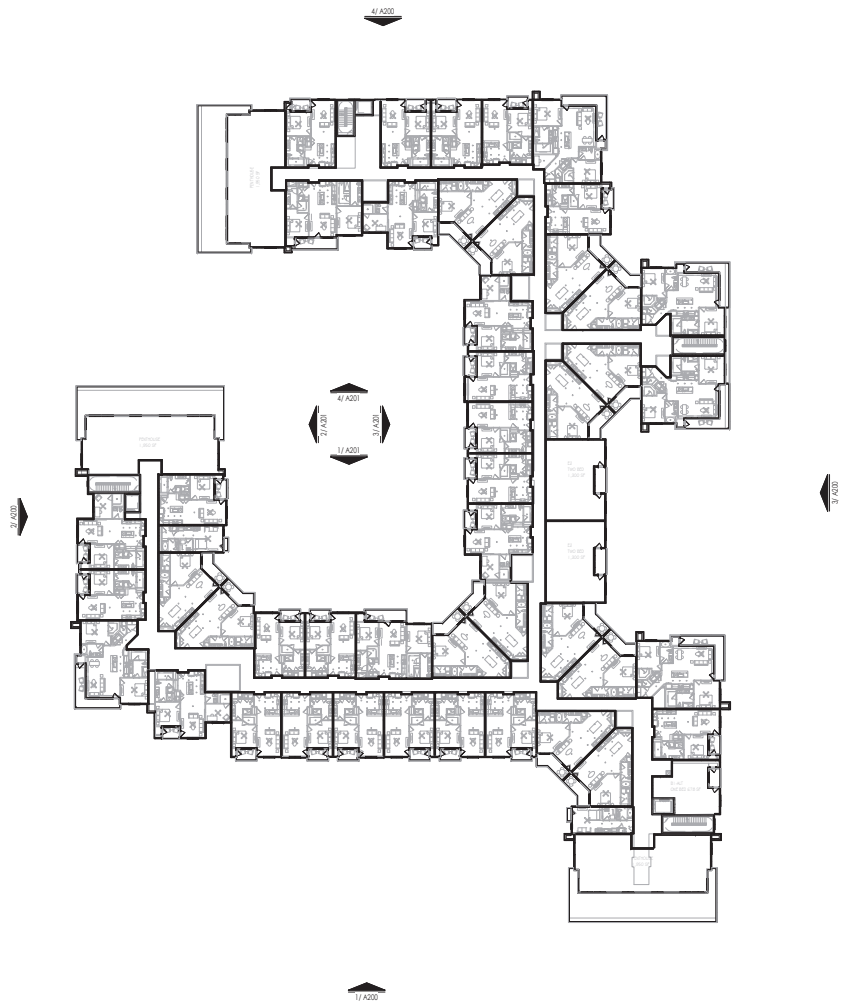
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11/20/2024  
**drawing revisions**  
No. Description Date

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**drawing title**  
3RD FLOOR PLAN  
**drawing number**  
**A103**







**FLOOR PLAN KEYNOTES**

Key	Keynote Text
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The Architect is not responsible for the ability of any contractor to obtain permits or for the accuracy of any information provided to the Architect by the contractor. The Architect is not responsible for the accuracy of any information provided to the Architect by the contractor. The Architect is not responsible for the accuracy of any information provided to the Architect by the contractor.

The Architect is not responsible for the ability of any contractor to obtain permits or for the accuracy of any information provided to the Architect by the contractor. The Architect is not responsible for the accuracy of any information provided to the Architect by the contractor. The Architect is not responsible for the accuracy of any information provided to the Architect by the contractor.

**Owner**  
**SONOMA PHASE 3**  
**MAURER RD & LOIRET BLVD**  
**LENEXA, KS**

project number: 10000000  
drawing issuance: 11/20/2014  
drawing revisions: No. Description: Date:

professional seal  
**NOT FOR CONSTRUCTION**

DATE SIGNED: 11/20/2014 8:22:55 AM

drawing title: 5TH FLOOR PLAN  
drawing number: **A105**









  
**ODDO**  
DEVELOP | CONSTRUCT | MANAGE

A203 - RENDER

SCALE: 1" = 40'

REVISED 12/16/2024

SONOMA PLAZA |

ODDO DEVELOPMENT | 11.25.2024







  
**ODDO**  
DEVELOP | CONSTRUCT | MANAGE

A203 - RENDER

SCALE: 1" = 40'

REVISED 12/16/2024

SONOMA PLAZA

ODDO DEVELOPMENT

11.25.2024

SD

SONOMA PLAZA

ODDO DEVELOPMENT

22187.03







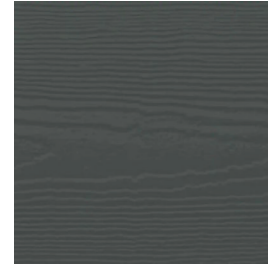
CS-1  
CAST STONE  
MIDWEST CAST STONE  
17AC



BRK-1  
BRICK  
GLEN-GERY  
EBONITE VELOUR



BRK-2  
BRICK  
GLEN-GERY  
CARBON BLACK



HD-1  
HARDIE BOARD  
IRON GRAY



MT-1  
METAL  
FIRESTONE  
EXTRA DARK BRONZE



SF-1  
STOREFRONT GLASS +  
PUNCHED OPENINGS  
KAWNEER  
NO. 29 BLACK



ST-1  
NATURAL STONE  
EDWARDS STONE

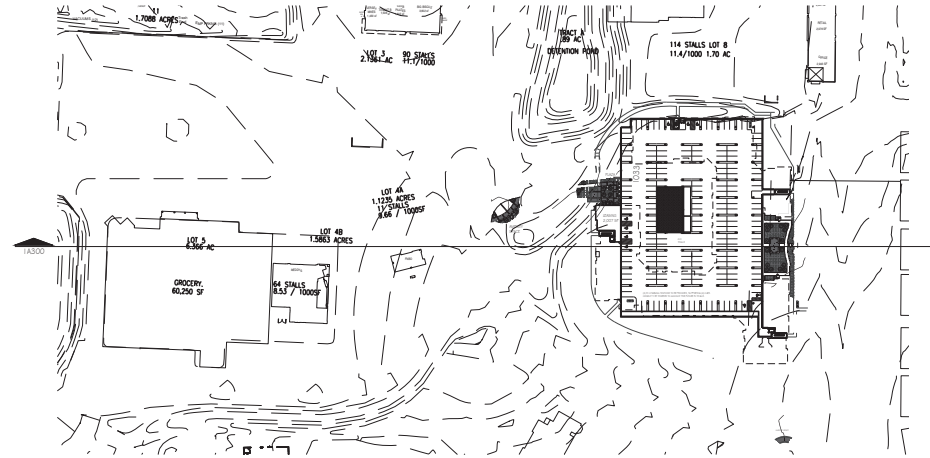


EIFS-1  
DRYVIT  
BENJAMIN MOORE #HC-81  
MANCHESTER TAN

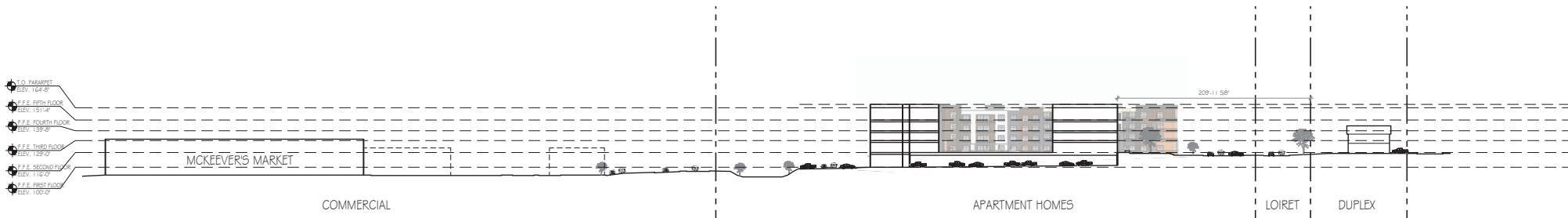


EIFS-2  
DRYVIT  
SHERWIN WILLIAMS #9103  
FARRO

## MATERIAL BOARD



SITE SECTION MAP ②  
SCALE: 1" = 100'



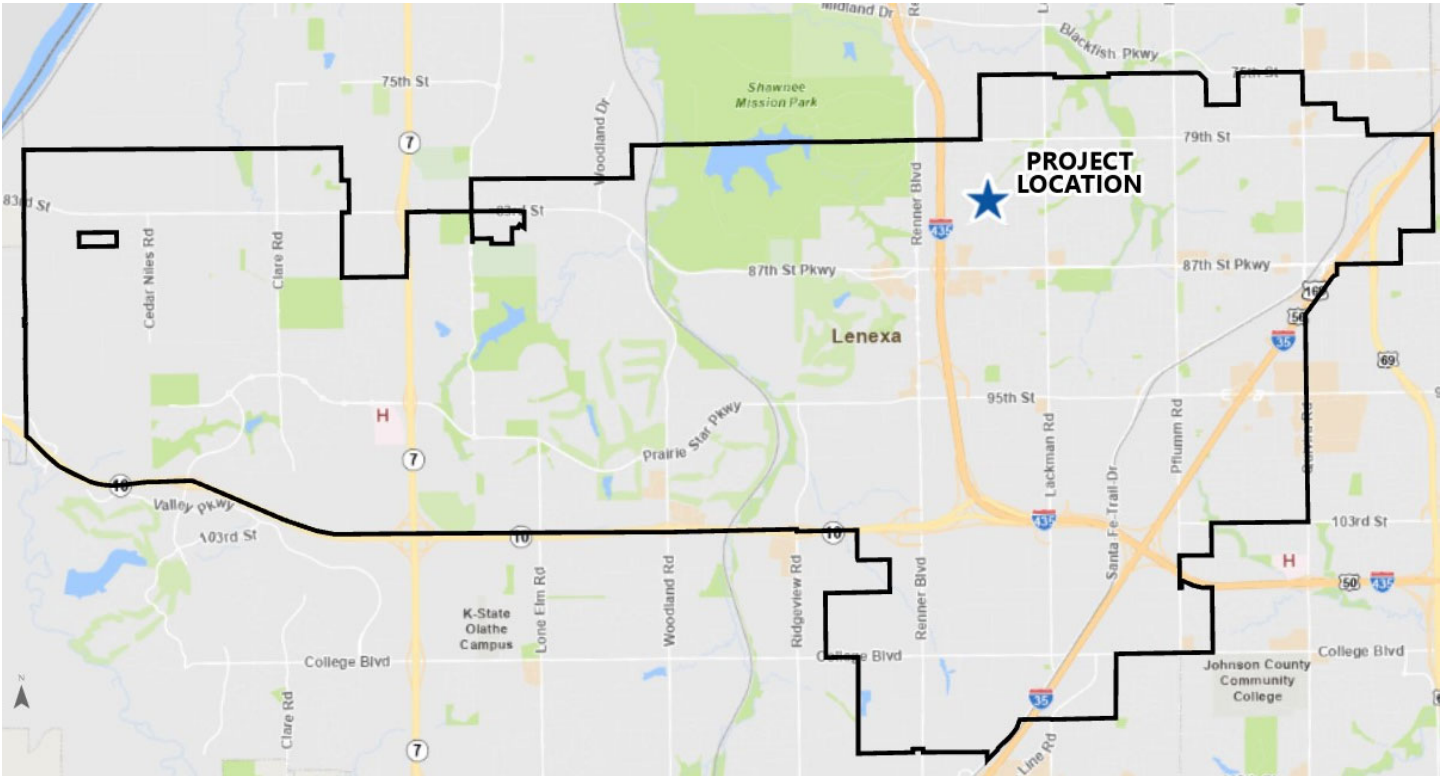
SITE SECTION ①  
SCALE: 1" = 50'

A300 - SITE SECTION  
SCALE: 1" = 50'

SONOMA PLAZA | ODDO DEVELOPMENT | 11.25.2024

# AD ASTRA PARK

<b>Project #:</b>	PL25-01P	<b>Location:</b>	8265 Maurer Road
<b>Applicant:</b>	Allison Vandever, SFS Architecture	<b>Project Type:</b>	Preliminary Plan
<b>Staff Planner:</b>	Dave Dalecky	<b>Proposed Use:</b>	Public Park



## PROJECT SUMMARY

The applicant requests approval of a preliminary plan for Ad Astra Park located at 8265 Maurer Road. Ad Astra Park is a 9.6-acre City of Lenexa public park with trails, play equipment, public pool, and a parking lot. The park is undergoing a major reconstruction project to rebuild the pool and parking lot, install new trail connections, and construct a new restroom structure. The pool and parking lot will be reconstructed in the same location, at the westerly side of the park.

**STAFF RECOMMENDATION: APPROVAL**



## SITE INFORMATION

The site is at the southeast corner of 83<sup>rd</sup> Street and Maurer Road. Ad Astra Park is an existing City Park. The City is reconstructing the pool and will make additional changes to the park. A plan has not been established for the park; therefore, a new preliminary plan is proposed for the site.

LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
9.61	N/A	R-1	Suburban Density Residential

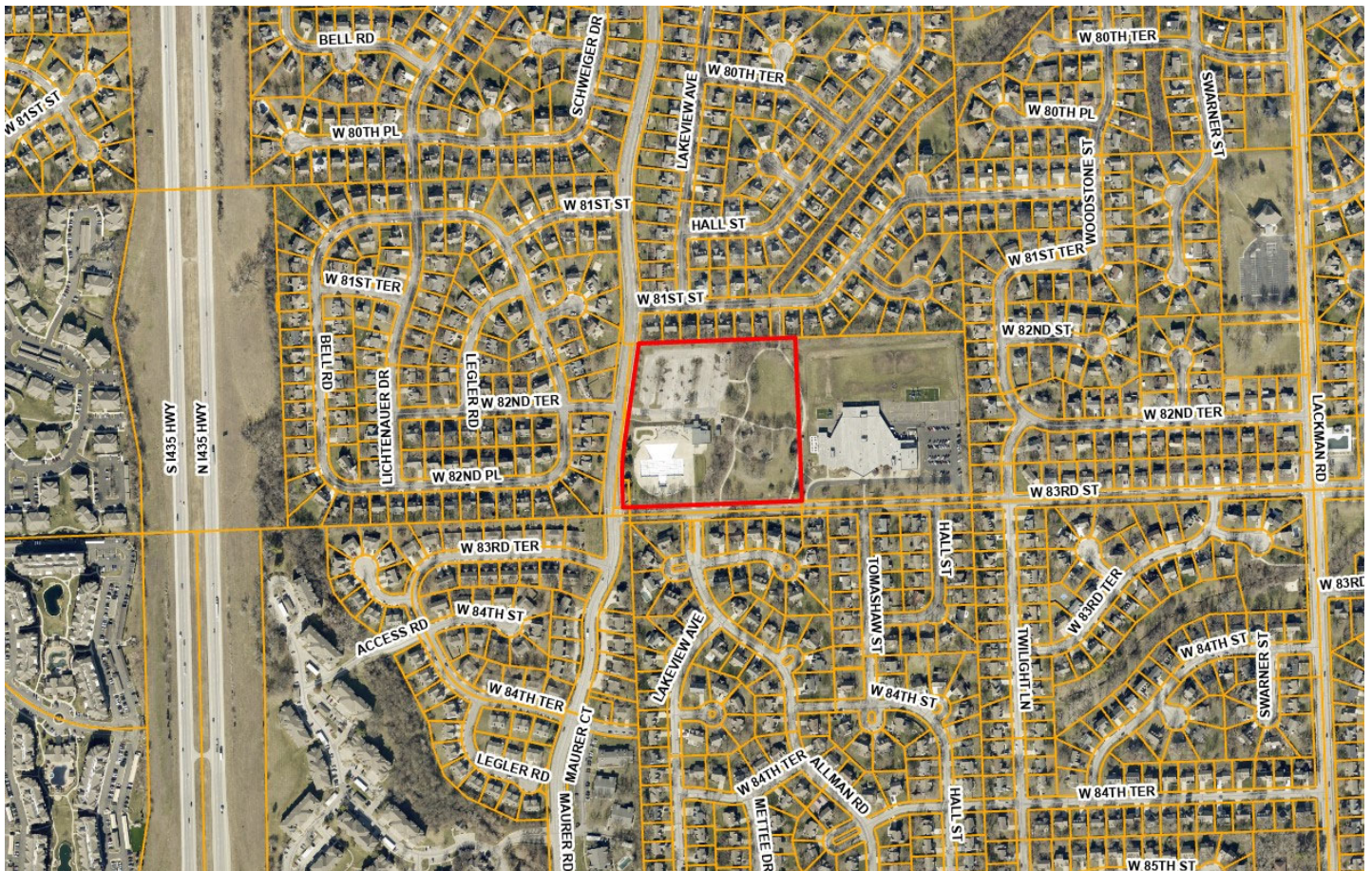
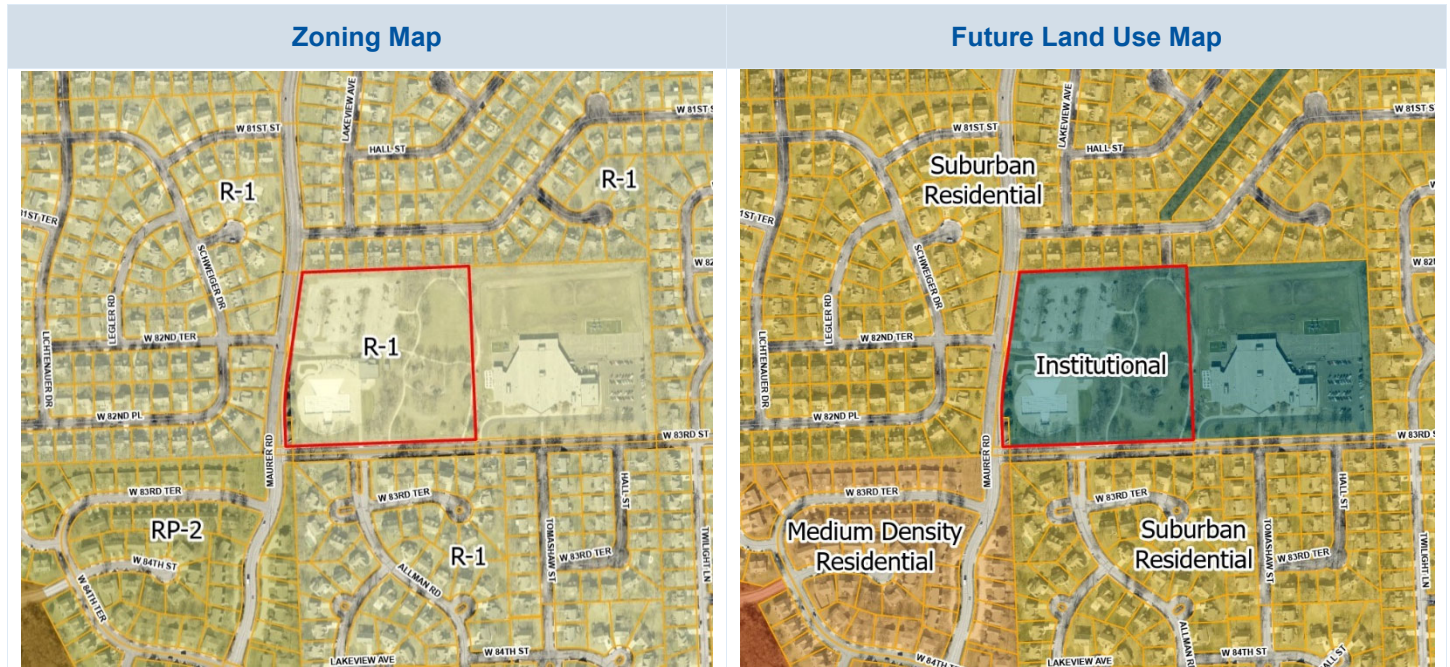


Exhibit 1: Aerial image.



## LAND USE REVIEW

The site is zoned R-1, Residential Single-Family District. The site has been a City Park since the late 1990's. The park is west of Christa McAuliffe Elementary School. The park trail system crosses between the park property and the school grounds. A public park is allowed by right in the R-1 Zoning District.



**TABLE 1: COMPARISON OF SURROUNDING PROPERTIES**

Vicinity	Land Use Designation	Zoning	Current Use
<b>Subject Property</b>	Institutional	R-1, Residential Single-Family District	Public Park
<b>North</b>	Suburban Residential	R-1, Residential Single-Family District	Single-Family
<b>South</b>	Suburban Residential	R-1, Residential Single-Family District	Single-Family
<b>East</b>	Suburban Residential	R-1, Residential Single-Family District	Single-Family
<b>West</b>	Suburban Residential	R-1, Residential Single-Family District	Single-Family

## PRELIMINARY PLAN REVIEW

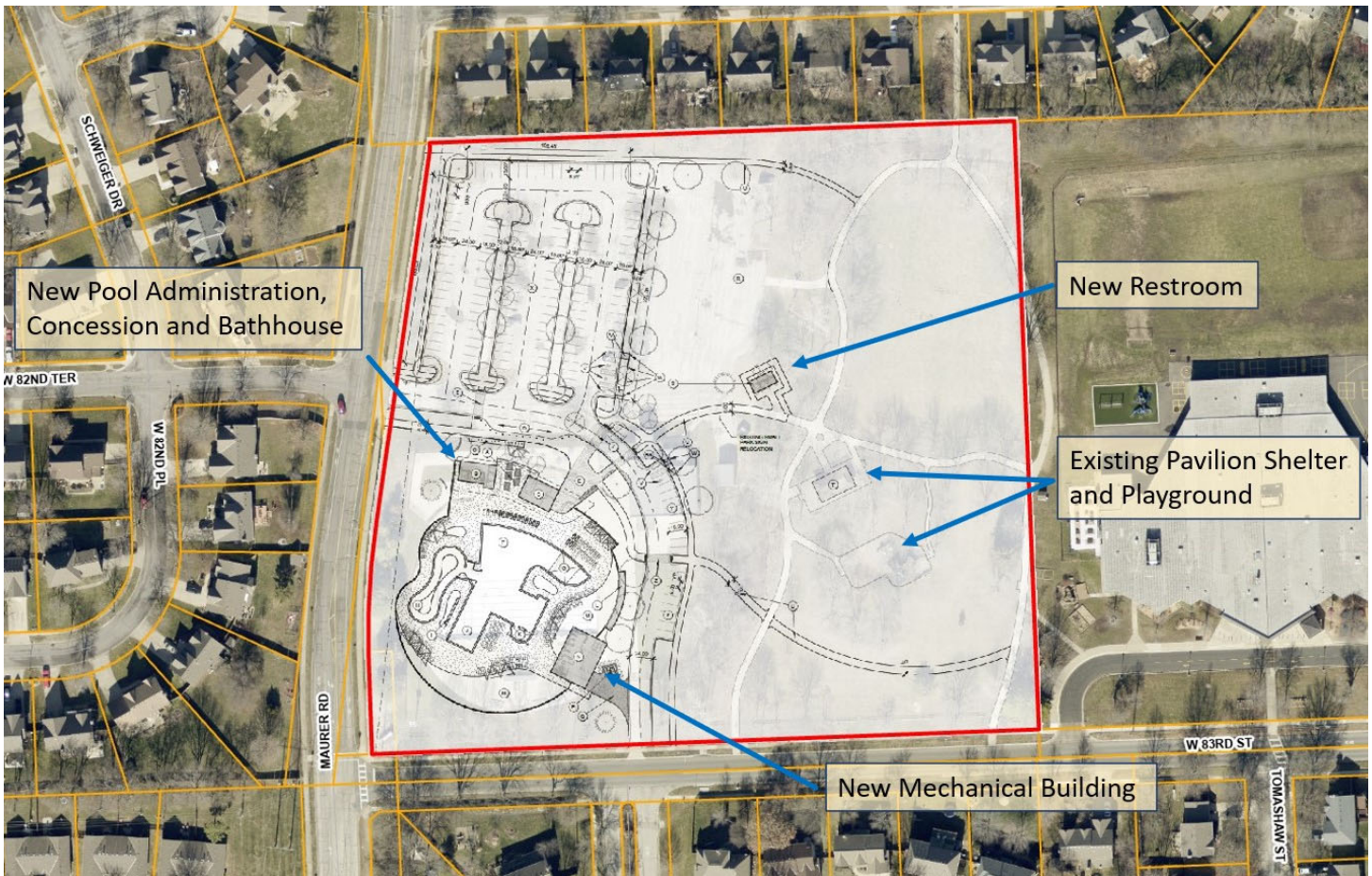
The 9.6-acre site is located at the northeast corner of 83<sup>rd</sup> Street and Maurer Road, next to Christa McAuliffe Elementary School and along the Hickory Ridge Park Trail. The park has an existing public pool, playground, walking trails, pavilion shelter, and a parking area. The parking area is also used by parents waiting to pick up children from the adjacent elementary school.

The proposed preliminary plan retains the current general layout of the park, with a parking area at the northwest part of the site, a new public pool at the southwest, additional paved trails, and a new restroom structure.



**Exhibit 2: Current site.**





**Exhibit 3: Site Plan.**

The parking lot is changed from angled parking to ninety-degree spaces, which will improve vehicular circulation. The pool and deck area will be entirely reconstructed with a new structure for administration, concessions, and restrooms and a new structure to house the pool mechanical equipment. The entry drive to the park will extend around the perimeter of the pool with additional parking and provide circulation from Maurer Road to 83<sup>rd</sup> Street.

**DIMENSIONAL STANDARDS**

The reconstructed pool is at least 40 feet from the property line along Maurer Road. The pool deck is 28 feet at the closest point. An eight-foot-tall black vinyl-coated chain-link fence will be installed around the pool deck. [Section 4-1-B-24-F-5-b](#) of the UDC states that a fence for a “recreational use” may be up to ten feet tall and cannot be closer to the property line than the primary structure. The pool and deck are the primary structures of the park, and the fence is at the same setback. It is Staff’s determination the fence is compliant with the requirements of the UDC.

**PUBLIC IMPROVEMENTS**

No new streets are proposed with the reconstruction of the park. The park is a public facility but will be reviewed as a typical construction project with Preliminary and Final Plan approvals and the submittal of building permit plans.

**ACCESS TRAFFIC, AND PARKING**

The changes to the site include reconstruction of the parking area and a continuation of the access drive through the park from Maurer Road to 83<sup>rd</sup> Street. The continuation of the access drive will improve circulation, allowing a second means of ingress and egress to the park. Staff will require the drive onto 83<sup>rd</sup> Street to align with the island of Allman Road on the south side of 83<sup>rd</sup> Street. Allman Road has a median dividing the north and southbound lanes.

The parking lot will be changed from angled spaces to ninety-degree spaces. The current design has three bays of one-way circulation, which can cause confusion and create conflicting vehicle circulation for visitors. The ninety-degree spaces will use two-way drives.

One row of parking will be removed, which will reduce the overall number of parking spaces. The existing parking area provides 189 spaces. The revised layout will provide 158 spaces. A parking comparison is provided between the recently reconstructed Sar-Ko-Par pool site and the Ad Astra pool site in the following table.

<b>TABLE 2: POOL AREA COMPARISON</b>			
<b>Pool Deck Area</b>	<b>Pool Visitor Count</b>	<b>Parking Spaces per Visitor</b>	<b>Parking Spaces Provided</b>
<b>Sar-Ko-Par</b>	750	0.35	268
<b>Ad Astra</b>	450	0.35	158

The comparison is an analysis to determine a reasonable “demand” for parking during the busiest times of the year when the pool is open. This is typically three months during the summertime. The park will have more parking spaces than needed for visitors during the other nine months of the year.

<b>TABLE 3: PARKING ANALYSIS</b>			
<b>Use</b>	<b>Requirement</b>	<b>Required</b>	<b>Provided</b>
<b>Public Park</b>	To be determined by the City (Parking Study Required)	Per Approved Study	158
<b>TOTAL</b>			<b>158</b>

Staff concludes the proposed total number of parking spaces is an appropriate number for the park. The plan shows 16 spaces for bicycles. A typical bicycle rack allows for two bicycles to be parked. The total number of bicycle racks will be provided with the final plan.

**FIRE PREVENTION**

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal.



## LIGHTING

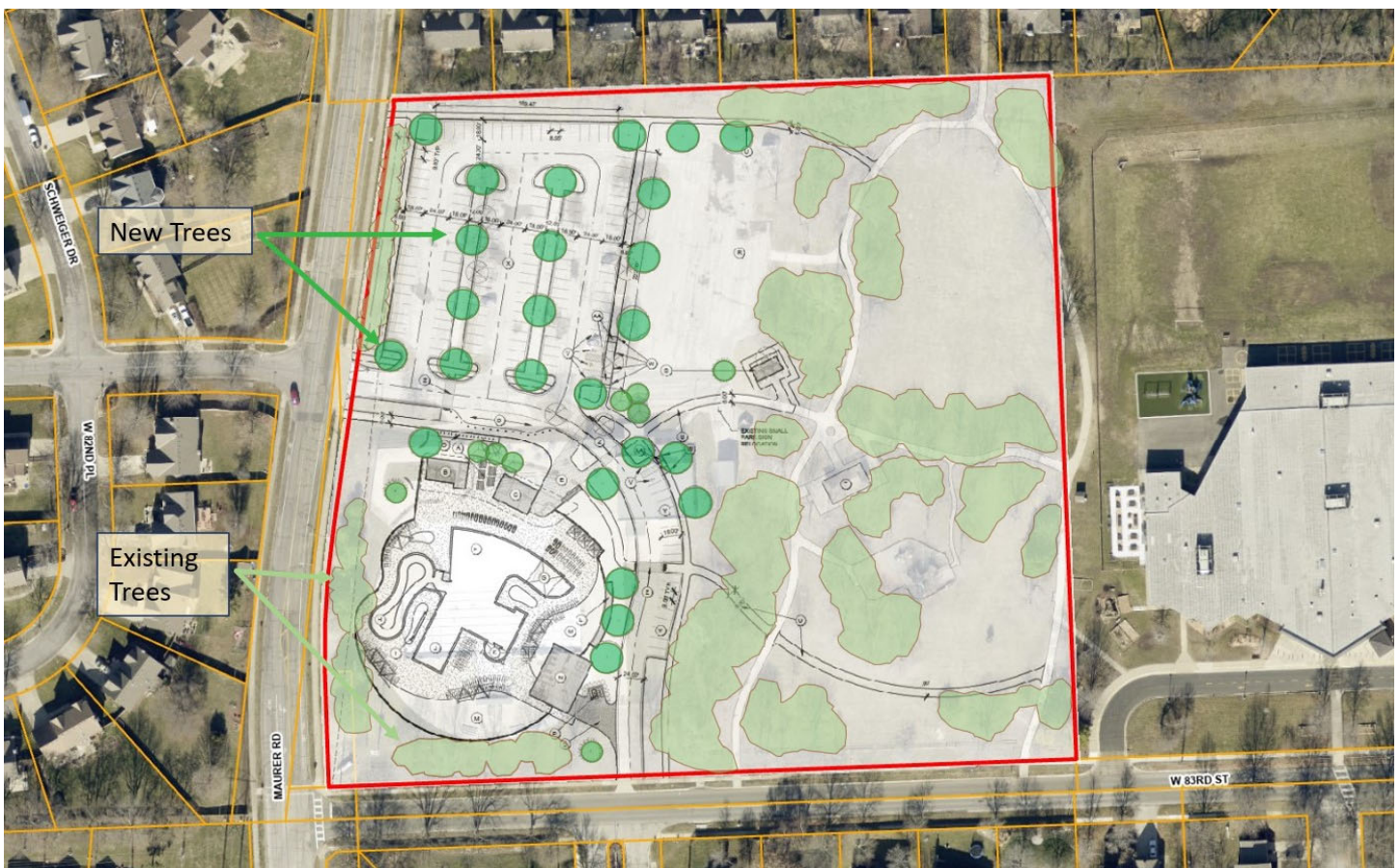
Details regarding site lighting are not required with a preliminary plan. It is the expectation the parking lot will have light poles, similar to the existing parking lot lights. It is also the expectation for the buildings to include plight fixtures and potentially some pedestrian scale lighting along the walkways. A photometric plan and details of exterior lighting will be provided with the final plan.

## LANDSCAPING

The site will have new landscape materials planted and will retain existing trees. The new landscaping will be installed around the reconstructed parking area and the pool, on the westerly half of the park site. All the landscaping will remain as it is on the easterly half of the site. The existing trees that line Maurer Road are to be preserved. This will require the trees are protected during the construction activity.

The reconstruction of the parking lot will require some of the large trees in existing islands to be removed due to the island locations changing to provide for wider drive aisles. New trees will be installed in the new islands.

A detailed landscape plan that identifies the plant type and size will be provided with the final plan submittal.



**Exhibit 4: Landscape plan.**



**ARCHITECTURE**

The new administration, concession, and bathhouse is an integrated structure connected with a roof awning over outdoor seating. The structure uses modular masonry block with a burnished finish, fiber cement panels, wooden timber framing, glass walls, and a shallow pitch metal roof. The building is a contemporary-styled structure with durable materials.

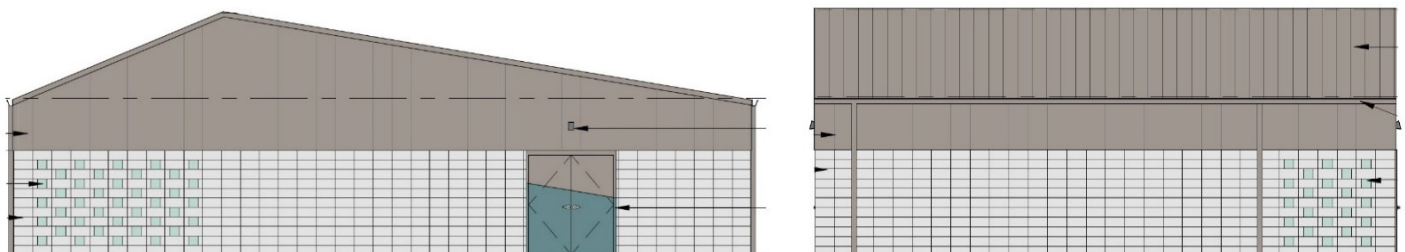


*Exhibit 5: Pool administration, concession, and bathhouse building rendering, north elevation.*



*Exhibit 6: Pool administration, concession, and bathhouse building rendering, south elevation.*

The new mechanical equipment structure uses the same materials but has a gable roof and will glass block to provide natural light.



*Exhibit 7: Pool mechanical building front and side elevations.*

The new restroom building will look slightly more rustic by incorporating a natural stone veneer, wood siding and timber framing.



Exhibit 8: Restroom structure front and side elevations.

## DEVIATIONS

The applicant is not requesting any deviations from the UDC.

## REVIEW PROCESS

- This project requires a recommendation from the Planning Commission and final approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration from the City Council on January 21, 2025.
- The applicant must submit a final plan, and preliminary and final plat applications prior to applying for permit(s).
- The final plat must be recorded with Johnson County prior to permit(s) being released.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant must obtain a Certificate of Occupancy before opening for business.
- The applicant must obtain a Business License prior to opening for business.
- The applicant should inquire about additional City requirements, such as permits and development fees.

## RECOMMENDATION FROM PROFESSIONAL STAFF

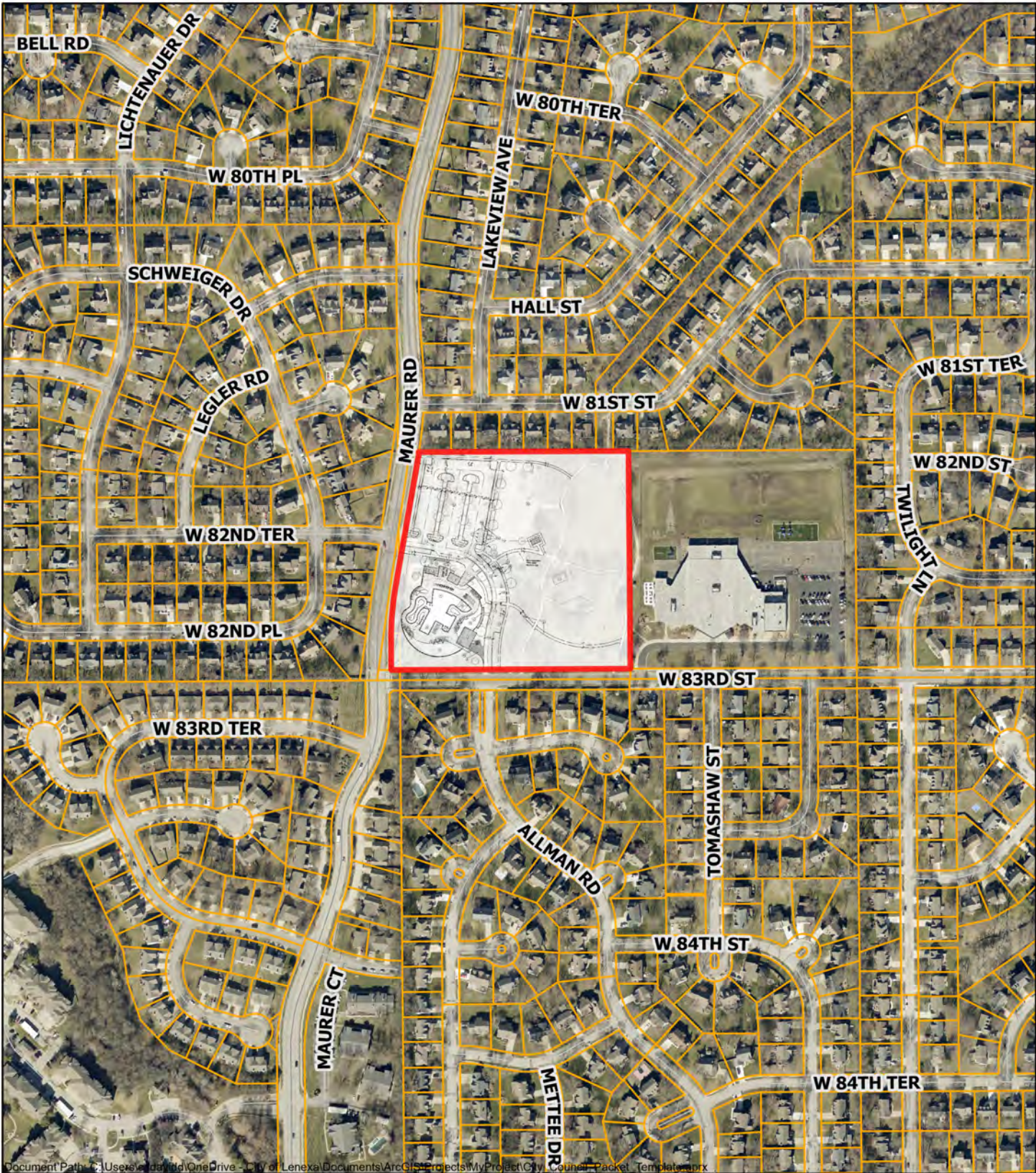
### ★ Staff recommends approval of the proposed Preliminary Plan for Ad Astra Park

- The revised preliminary plan will allow the development of a Public Park.
- The project is consistent with Lenexa's goals through *Strategic Community Investment and Superior Quality Services* to create *Healthy People and Vibrant Neighborhoods*.

## PRELIMINARY PLAN

Staff recommends **APPROVAL** of the preliminary plan for PL25-01P – **Ad Astra Park** located at 8265 Maurer Road, for a Public Park.

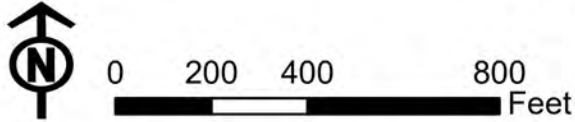




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Data Source: City of Lenexa and Johnson County Kansas  
For further information, please call 913-477-7500

# Ad Astra Park Preliminary Plan







DRAWING INDEX

SHEET NUMBER	SHEET NAME
C100	GENERAL LAYOUT
C200	DEMO PLAN
C300	UTILITY PLAN
C400	VEHICLE TURNING PLAN
L100	SITE PLAN
L400	LANDSCAPE PLAN
L401	LANDSCAPE PLAN ENLARGEMENT
L402	LANDSCAPE PLAN ENLARGEMENT
L403	LANDSCAPE PLAN ENLARGEMENT
L404	LANDSCAPE PLAN ENLARGEMENT
L500	SITE DETAILS
L501	SITE DETAILS - SIDEWALK RAMP DETAILS
L502	SITE DETAILS - SIDEWALK RAMP DETAILS
L503	SITE DETAILS - SIDEWALK RAMP DETAILS
A001	ARCHITECTURAL SITE PLAN
A100	FLOOR PLAN - POOL STRUCTURES
A110	FLOOR PLAN - PARK RESTROOM
A200	EXTERIOR ELEVATIONS - POOL STRUCTURES
A210	EXTERIOR ELEVATIONS - PARK RESTROOM
A300	ARCHITECTURAL MATERIAL BOARD
E001	ELECTRICAL PHOTOMETRIC PLAN

ARCHITECT-OF-RECORD:

SFS ARCHITECTURE  
2100 CENTRAL, SUITE 31  
KANSAS CITY MISSOURI 64108

O: 816.474.1397  
F: 816.421.8024

CIVIL:

GEORGE BUTLER & ASSOCIATES  
9801 RENNER BOULEVARD SUITE 300  
LENEXA KANSAS 66219

O: 913.449.5002

LANDSCAPE ARCHITECT:

CONJUNCE  
510 WALNUT STREET, SUITE 301  
KANSAS CITY MISSOURI 64106

O: 816.531.7227  
F: 515.288.8359

STRUCTURAL:

STAND STRUCTURAL ENGINEERING INC.  
8234 ROBINSON STREET  
OVERLAND PARK KANSAS 66204

O: 913.214.2169

M/E/P/E ENGINEER:

PKMR ENGINEERS  
13300 W 98TH STREET  
LENEXA KANSAS 66215

O: 913.492.2400

POOL CONSULTANT:

WATER TECHNOLOGY, INC.  
100 PARK AVENUE, PO BOX 614  
BEAVER DAM WISCONSIN 53916

O: 920.887.7375  
F: 920.887.7999

OWNER:

CITY OF LENEXA  
17101 W 87TH STREET PARKWAY  
LENEXA KANSAS 66219

O: 913.477.7500

241219

11.25.2024

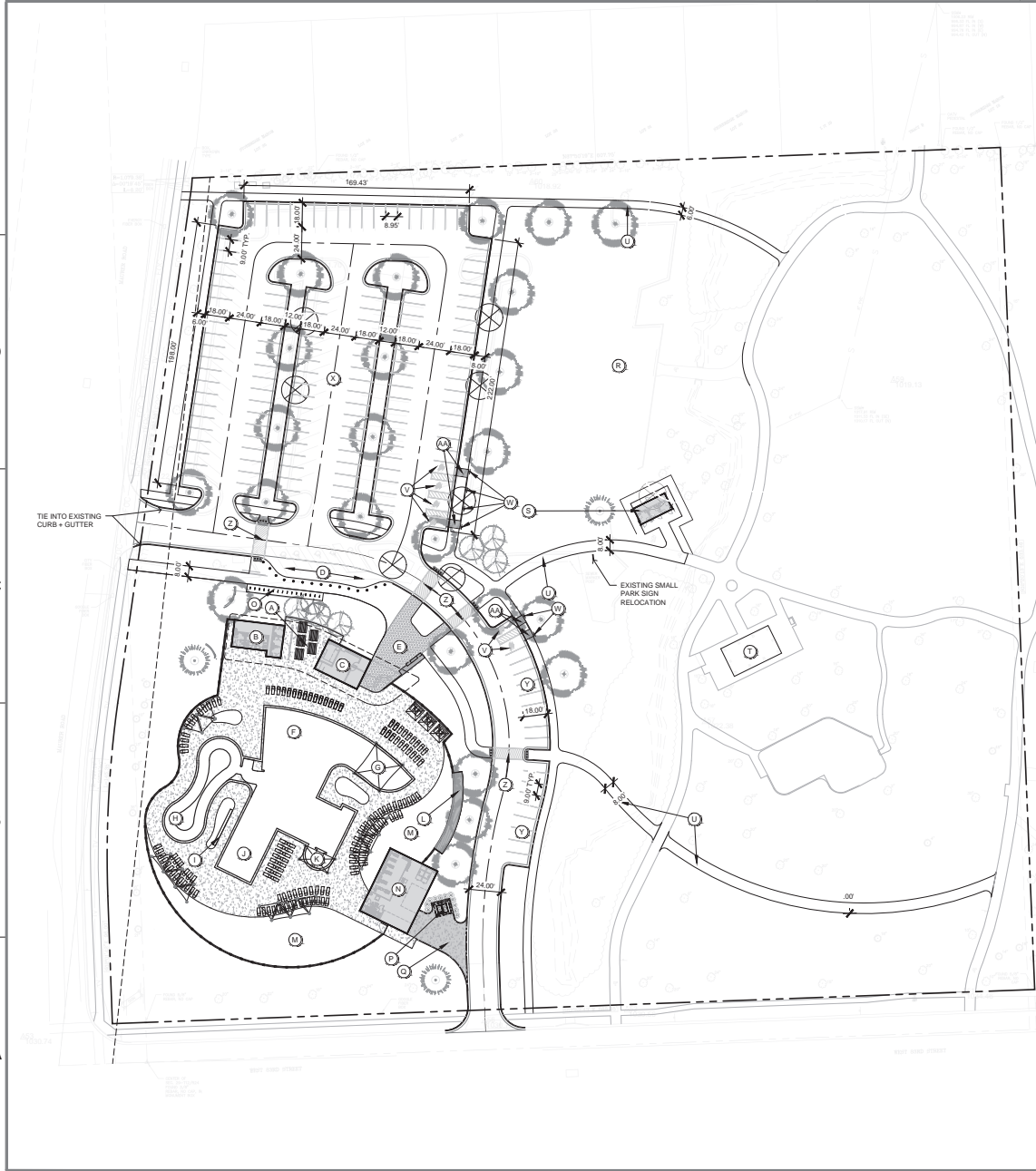
PRELIMINARY PLAN







E  
D  
C  
B  
A



**HATCH LEGEND**

- PROPERTY BOUNDARY
- - - UTILITY EASEMENT
- POOL ENTRY PLAZA
- ▨ POOL DECK AREA

<b>TOTAL SITE AREA IN ACRES</b>	<b>9.61 ACRES</b>
<b>DENSITY- UNITS PER ACRE</b>	<b>N/A</b>
<b>TOTAL LOT COVERAGE [BUILDING(S) &amp; PAVEMENT]</b>	<b>138,997 SQFT</b>
<b>OPEN SPACE PERCENTAGE</b>	<b>67%</b>
<b>TOTAL VEHICLE PARKING SPACES</b>	<b>158</b>

**EXISTING PARKING**

<b>TOTAL LOT COVERAGE: BLDGS, P/VMNT, + POOL DECK (PARKING NOT INCLUDED)</b>	<b>PROVIDED SPACES - 1 SPACE PER 510 SQFT OF HARDSCAPE (BLDGS, P/VMNT, + POOL DECK)</b>
96,495 SQFT	189

**PRECEDENT PROJECT PARKING INFORMATION: (PER BATHER COUNT)**

<b>POOL NAME</b>	<b>POOL BATHER COUNT</b>	<b>PARKING SPACES PROVIDED</b>
SAR-KO-PAR AQUATICS CENTER	750	268 (.35 STALLS PER BATHER)

**PROPOSED PARKING**

<b>TOTAL LOT HARDSCAPE COVERAGE BLDGS, P/VMNT, + POOL DECK (PARKING NOT INCLUDED)</b>	<b>POOL BATHER COUNT</b>	<b>REQUIRED SPACES: (.35 STALLS PER BATHER)</b>	<b>PROVIDED SPACES: (.35 STALL PER BATHER) OR 1 SPACE PER 523 SQFT OF HARDSCAPE (BLDGS, P/VMNT, + POOL DECK)</b>
85,283 SQFT	450	157.5	158

**PROPOSED BIKE PARKING**

<b>PARKING TYPE</b>	<b>REQUIRED SPACES</b>	<b>PROVIDED SPACES</b>
<b>TOTAL PROPOSED BICYCLE RACKS - PER STANDARD 4-11D-1.1 PUBLIC PARK: 1 SPACE PER 10 VEHICULAR SPACES</b>	16	16

- GENERAL LAYOUT NOTES**
- A. ALL CURB AND GUTTER DIMENSIONS ARE TO FACE OF CURB. ALL SIDEWALK DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  - B. WHEN CONTROL POINTS ARE PROVIDED THE CONTRACTOR SHALL VERIFY CONTROL POINTS PRIOR TO CONSTRUCTION.
  - C. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
  - D. ALL RAMP AND CURB RAMP SHALL COMPLY WITH FEDERAL AND LOCAL ACCESSIBILITY STANDARDS.
  - E. CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY SLEEVES UNDER PAVING AND WALKS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR.
  - F. UNLESS NOTED OTHERWISE EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 35' O.C. AND ADJACENT TO FIXED VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDINGS.
  - G. UTILITIES HAVE BEEN MARKED PER SURVEY. CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

- KEYNOTE LEGEND**
- (A) BATH HOUSE: CONCESSIONS SEATING
  - (B) BATH HOUSE: RESTROOMS; RE: ARCH
  - (C) BATH HOUSE: ADMIN AREA; RE: ARCH
  - (D) POOL - DROP OFF
  - (E) POOL - ENTRY PLAZA
  - (F) POOL - ZERO DEPTH ENTRY
  - (G) POOL - SPRAY ZONE
  - (H) POOL - CURRENT CHANNEL
  - (I) POOL - SPECTATOR SEAT WALL
  - (J) POOL - DIVING WELL
  - (K) POOL - UNDERWATER BENCH (SOCIAL ZONE)
  - (L) POOL - DECK OVERLOOK
  - (M) POOL - TURF ZONE
  - (N) POOL - MECHANICAL BUILDING; RE: ARCH
  - (O) BIKE PARKING
  - (P) TRASH ENCLOSURE
  - (Q) SERVICE DRIVE
  - (R) PARK - RESTORED GREENSPACE
  - (S) PARK - RESTROOM; RE: ARCH
  - (T) PARK - SHELTER ENHANCEMENTS; RE: ARCH
  - (U) PARK - TRAIL CONNECTION
  - (V) HANDICAP ACCESSIBLE PARKING SPACES
  - (W) ACCESSIBLE PARKING SIGNAGE; RE: L500
  - (X) ENHANCED POOL PARKING LOT
  - (Y) PARK + OVERFLOW POOL PARKING SPACES
  - (Z) PEDESTRIAN CROSSING
  - (AA) ACCESSIBLE RAMP; RE: L501



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEXA  
8265 MAURER RD  
LENEXA, KS 66219

ISSUE DATE	DESCRIPTION
1/17/24	PRELIM PLAN REV

SFS PROJECT NO: 24129  
ISSUED FOR: PRELIMINARY PLAN  
ISSUE DATE: 11.25.2024  
© 2024 SFS ARCHITECTURE  
SITE PLAN

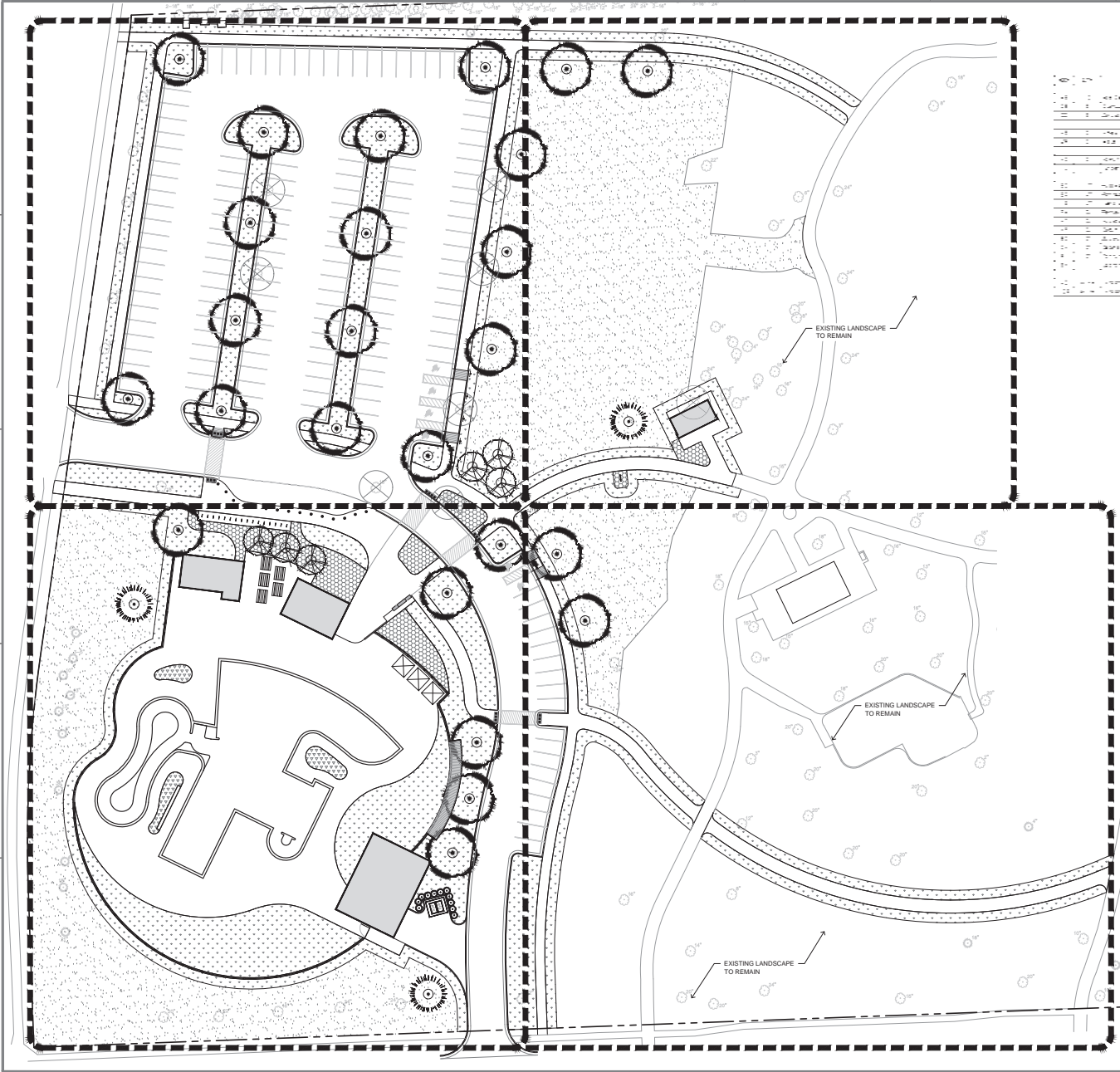
L100





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**PLANT SCHEDULE**

NO.	SYMBOL	PLANT NAME	QUANTITY	DATE
1	(Symbol)	PLANTING MIX 1 (1,077 PLANTS)	3,731	11/25/2024
2	(Symbol)	SYNTHETIC TURF	739	11/25/2024
3	(Symbol)	TURF SOD	44,604	11/25/2024
4	(Symbol)	TURF SEED	64,394	11/25/2024
5	(Symbol)	CANOPY TREE	1	11/25/2024
6	(Symbol)	ORNAMENTAL TREE	1	11/25/2024
7	(Symbol)	EVERGREEN TREE	1	11/25/2024
8	(Symbol)	EXISTING TREE TO BE REMOVED	1	11/25/2024

**PLANTING GENERAL NOTES**

- PLANT QUANTITIES IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY AND ARE NOT GUARANTEED. QUANTITIES ON PLAN WILL PREVAIL IF DISCREPANCIES OCCUR.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTALS, GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND ACCEPTANCE OF THE PROJECT.
- SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), MOST RECENT EDITION.
- STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- PLANT FIVE TREES FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING THE REMAINING TREES ON SITE. DEMONSTRATION SHOULD ILLUSTRATE A COMPREHENSIVE UNDERSTANDING OF INFORMATION INCLUDED IN PLANTING DETAILS AND SPECIFICATIONS.
- PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR APPROVAL OF PLANT LAYOUT AND SAMPLE TREE PLANTINGS.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SEED ALL DISTURBED AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PLACE SHREDDED BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
- SEE SPECIFICATIONS FOR PLANT MAINTENANCE AND WARRANTY REQUIREMENTS.

**LEGEND**

- PLANTING MIX 1 (1,077 PLANTS)  
3,731 TOTAL SF
- SYNTHETIC TURF  
739 TOTAL SF
- TURF SOD  
44,604 TOTAL SF
- TURF SEED  
64,394 TOTAL SF
- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- EXISTING TREE TO BE REMOVED



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEXA  
8265 MAURER RD  
LENEXA, KS 66219

NO.	DATE	DESCRIPTION
1	11/25/24	PRELIM PLAN REV.

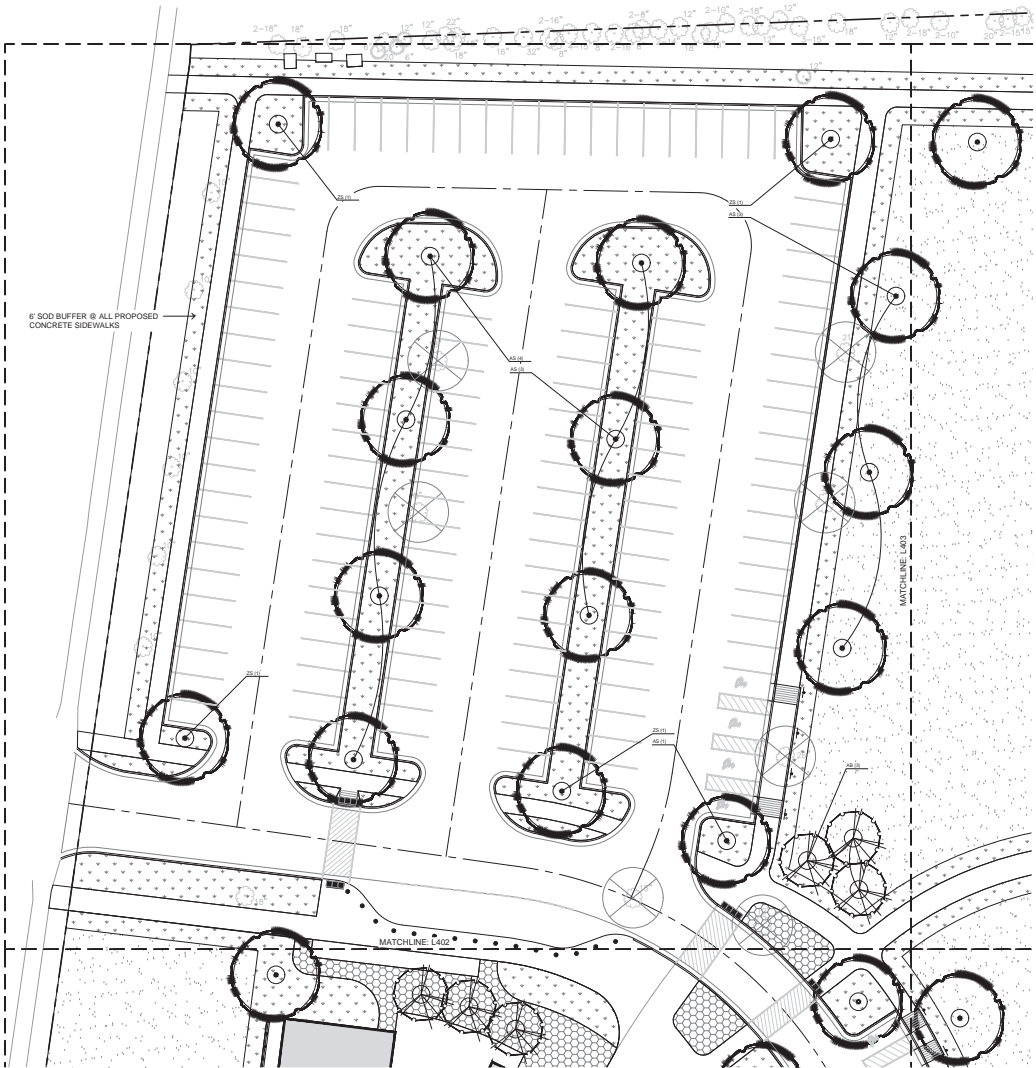
SFS PROJECT NO. 241219  
ISSUED FOR: PRELIMINARY PLAN  
ISSUE DATE: 11/25/2024  
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LANDSCAPE PLAN

L400

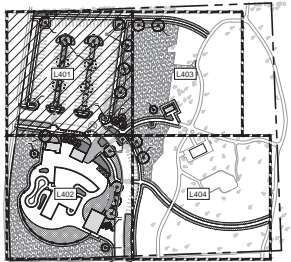
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KEYMAP



LEGEND

- PLANTING MIX 1 (1,077 PLANTS)  
3,731 TOTAL SF
- SYNTHETIC TURF  
739 TOTAL SF
- TURF SOD  
44,804 TOTAL SF
- TURF SEED  
64,394 TOTAL SF
- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- EXISTING TREE TO BE REMOVED



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEXA  
8265 MAURER RD  
LENEXA, KS 66219

MARK	DATE	DESCRIPTION
1	11/25/2024	PRELIM PLAN REV

SFS PROJECT NO: 241219  
ISSUED FOR: PRELIMINARY PLAN  
ISSUE DATE: 11/25/2024  
© 2024 SFS ARCHITECTURE  
LANDSCAPE PLAN  
ENLARGEMENT

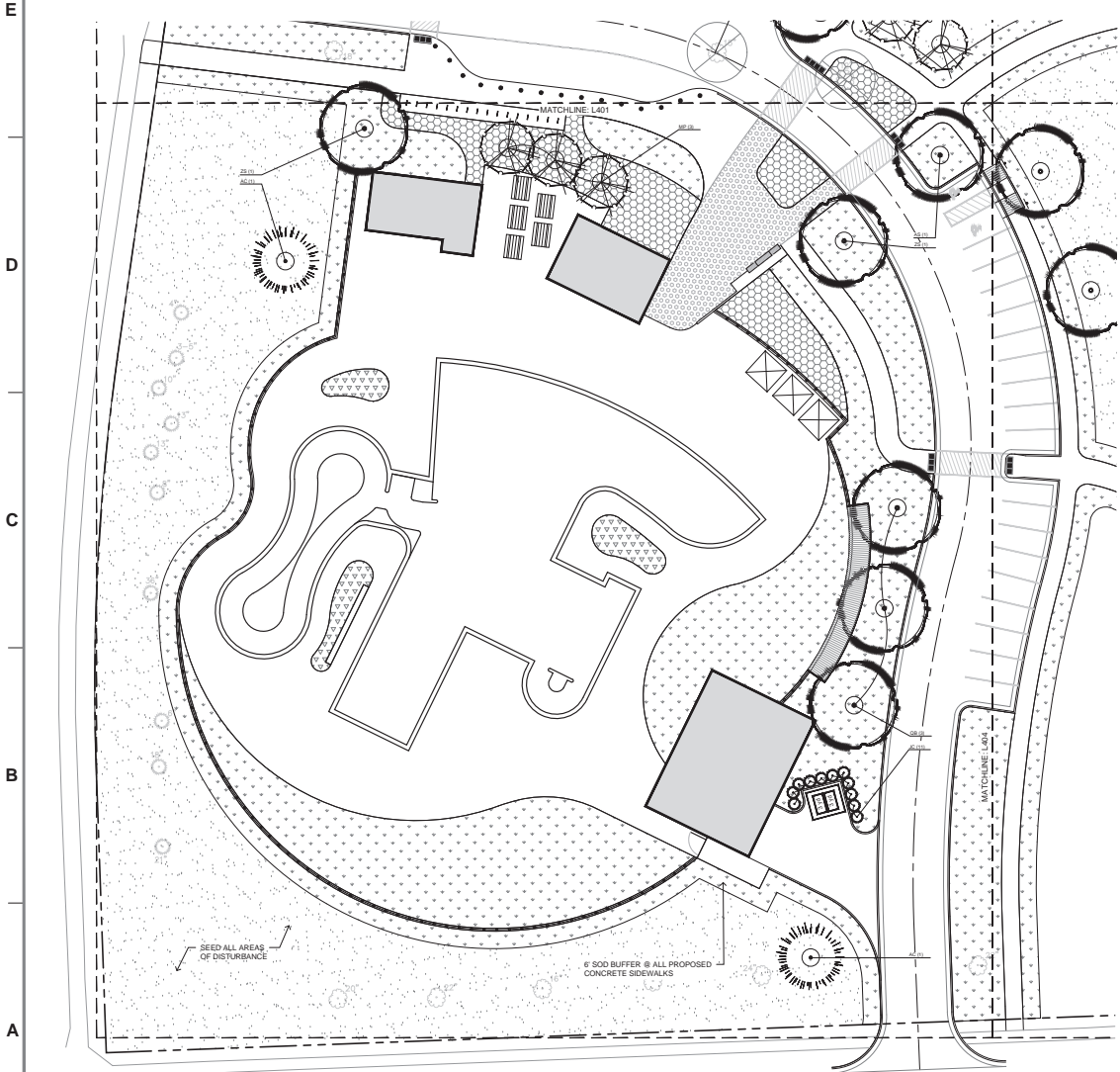
L401

1 L401 LANDSCAPE PLAN ENLARGEMENT

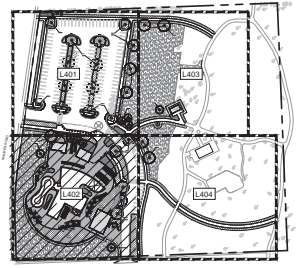


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1 2 3 4 5 6 7 8



KEYMAP



LEGEND

- PLANTING MIX 1 (1,077 PLANTS)  
3,731 TOTAL SF
- SYNTHETIC TURF  
739 TOTAL SF
- TURF SOD  
44,804 TOTAL SF
- TURF SEED  
64,394 TOTAL SF
- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- EXISTING TREE TO BE REMOVED



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEXA  
8265 MAURER RD  
LENEXA, KS 66219

MARK	DATE	DESCRIPTION
1	11/25/24	PRELIM PLAN REV

SFS PROJECT NO: 241219  
ISSUED FOR: PRELIMINARY PLAN  
ISSUE DATE: 11/25/2024  
© 2024 SFS ARCHITECTURE  
LANDSCAPE PLAN ENLARGEMENT

L402

1 L402 LANDSCAPE PLAN ENLARGEMENT

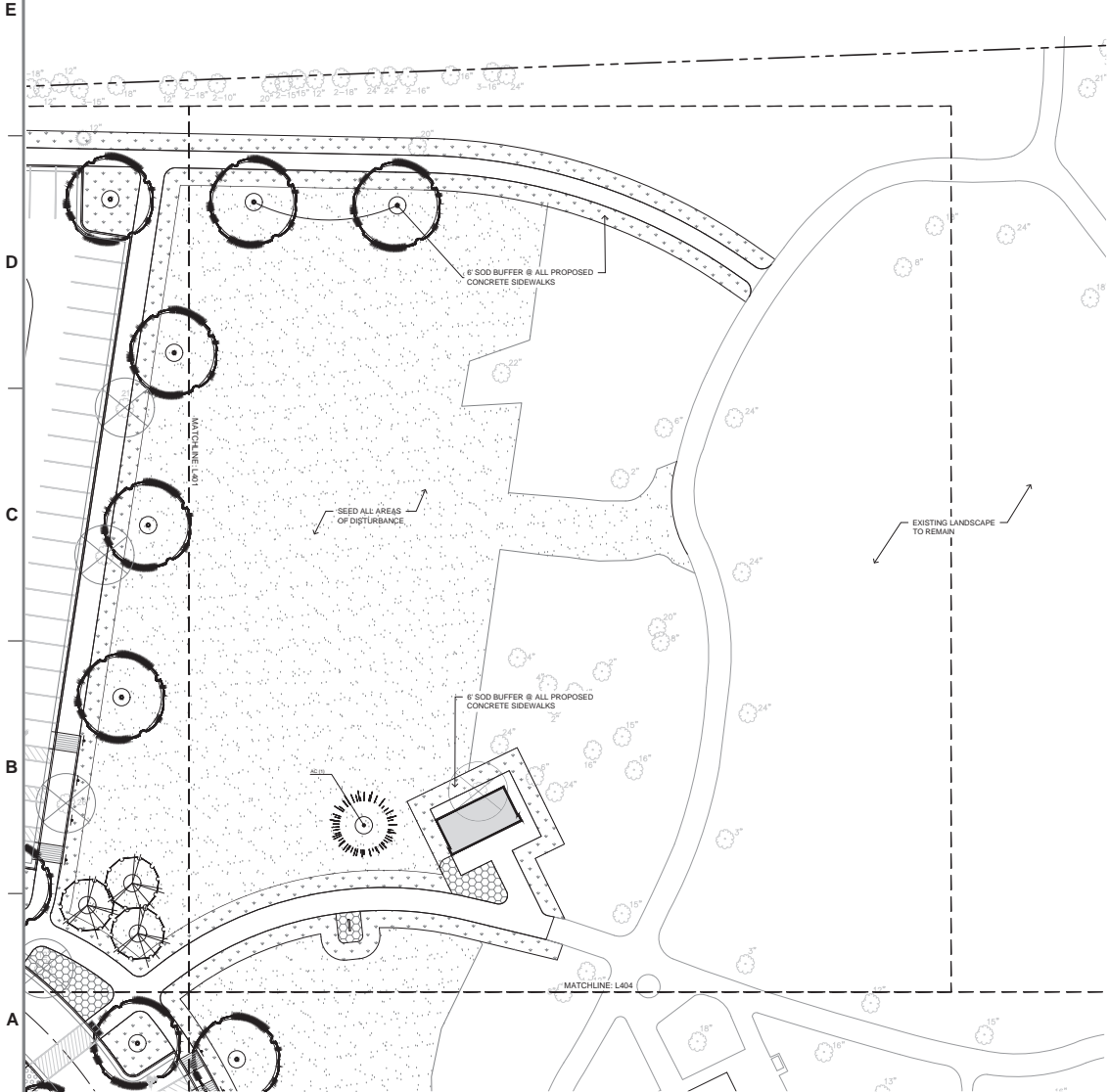


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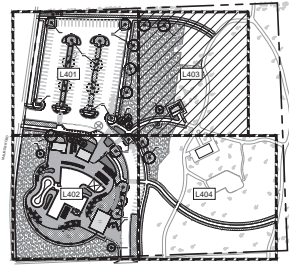
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KEYMAP



LEGEND

- PLANTING MIX 1 (1,077 PLANTS)  
3,731 TOTAL SF
- SYNTHETIC TURF  
739 TOTAL SF
- TURF SOD  
44,804 TOTAL SF
- TURF SEED  
64,394 TOTAL SF
- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- EXISTING TREE TO BE REMOVED



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEXA  
8265 MAURER RD  
LENEXA, KS 66219

MARK	DATE	DESCRIPTION
1	11/25/2024	PRELIM PLAN REV

SFS PROJECT NO: 241219  
 ISSUED FOR: PRELIMINARY PLAN  
 ISSUE DATE: 11/25/2024  
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 LANDSCAPE PLAN ENLARGEMENT

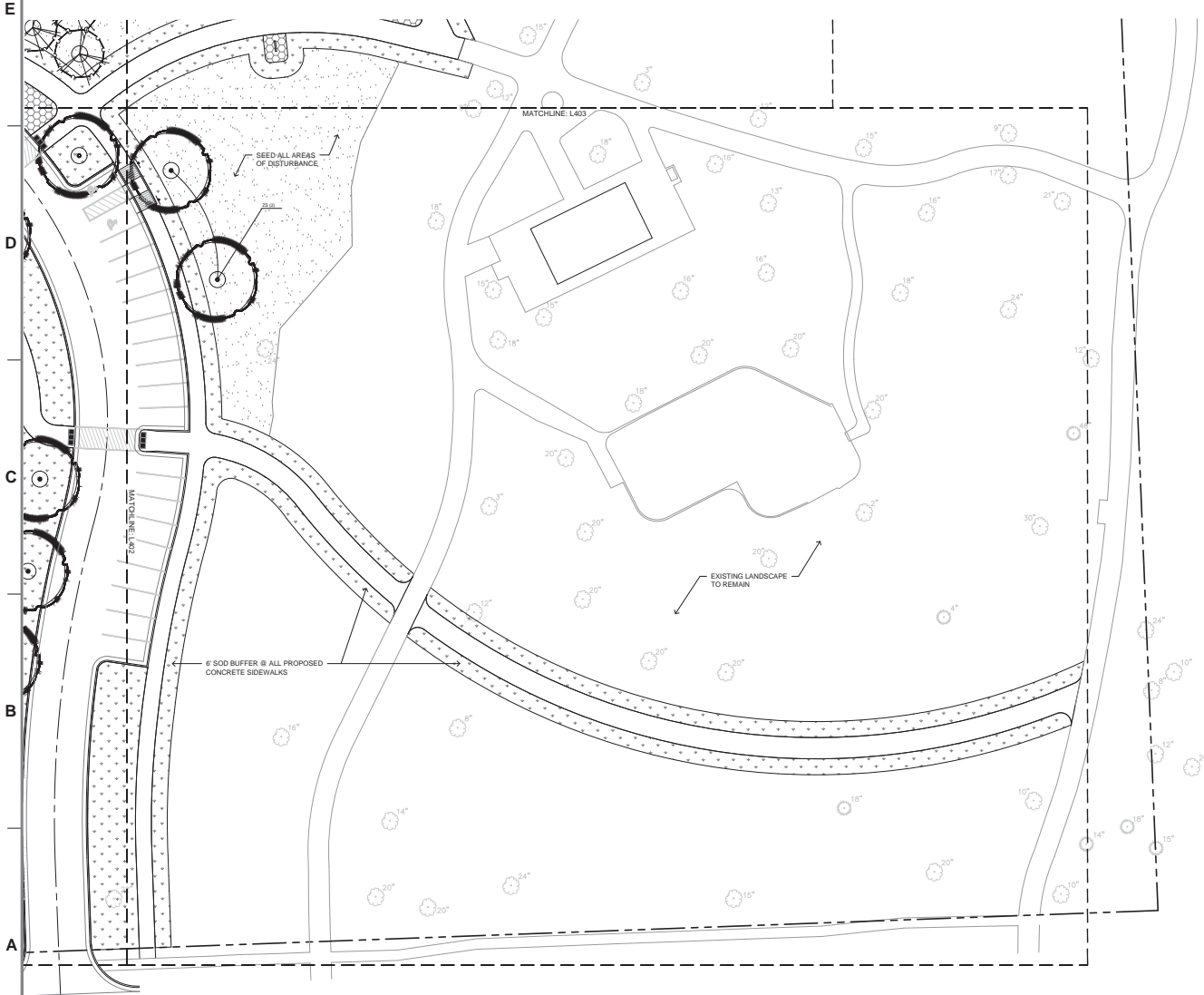
L403

© 2024

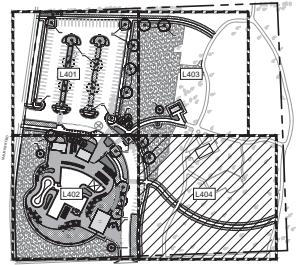
1 L403 LANDSCAPE PLAN ENLARGEMENT



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KEYMAP



LEGEND

- PLANTING MIX 1 (1,077 PLANTS)  
3,731 TOTAL SF
- SYNTHETIC TURF  
739 TOTAL SF
- TURF SOD  
44,804 TOTAL SF
- TURF SEED  
64,394 TOTAL SF
- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- EXISTING TREE TO BE REMOVED



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEXA  
8265 MAURER RD  
LENEXA, KS 66219

MARK	DATE	DESCRIPTION
1	11/25/2024	PRELIM PLAN REV

SFS PROJECT NO: 241219  
ISSUED FOR: PRELIMINARY PLAN  
ISSUE DATE: 11/25/2024  
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LANDSCAPE PLAN  
ENLARGEMENT

L404

1 L404 LANDSCAPE PLAN ENLARGEMENT

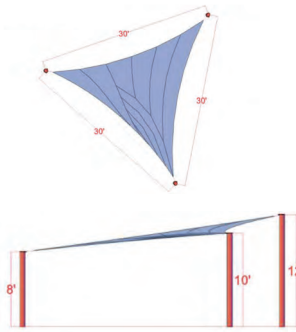


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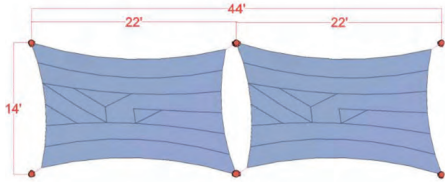
E



- NOTES:**  
 1. PRODUCT: 30' TRISHADE  
 2. INSTALL PER MANUFACTURERS RECOMMENDATIONS  
 3. MANUFACTURER: DUFFER HOLLOW DESIGNS

660.464.4660  
 OFFICE: 801.FERHOLLOWDESIGNS.COM  
 DUFFERHOLLOWDESIGNS.COM

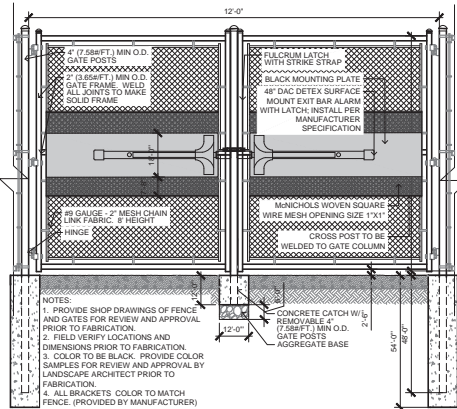
D 10 L500 3-POINT SHADE SAILS N.T.S.



- NOTES:**  
 1. PRODUCT: 6 COLUMN, 2 HOOP  
 2. INSTALL PER MANUFACTURERS RECOMMENDATIONS  
 3. MANUFACTURER: DUFFER HOLLOW DESIGNS

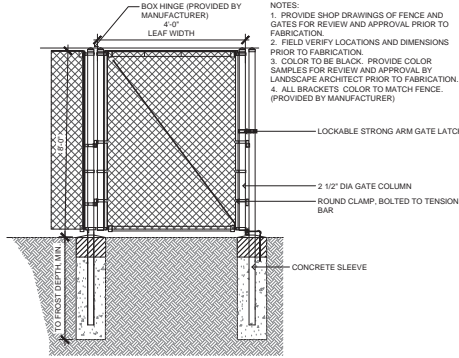
660.464.4660  
 OFFICE: 801.FERHOLLOWDESIGNS.COM  
 DUFFERHOLLOWDESIGNS.COM

C 9 L500 4-POINT SHADE SAILS N.T.S.



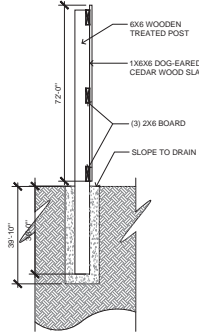
- NOTES:**  
 1. PROVIDE SHOP DRAWINGS OF FENCE AND GATES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.  
 2. FIELD VERIFY LOCATIONS AND DIMENSIONS PRIOR TO FABRICATION.  
 3. COLOR TO BE BLACK. PROVIDE COLOR SAMPLES FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.  
 4. ALL BRACKETS. COLOR TO MATCH FENCE. (PROVIDED BY MANUFACTURER)

B 8 L500 12'-0" EGRESS GATE WITH PANIC BAR N.T.S.

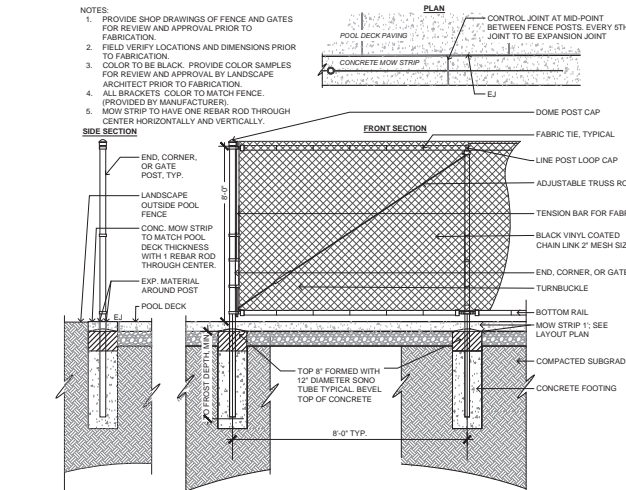


- NOTES:**  
 1. PROVIDE SHOP DRAWINGS OF FENCE AND GATES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.  
 2. FIELD VERIFY LOCATIONS AND DIMENSIONS PRIOR TO FABRICATION.  
 3. COLOR TO BE BLACK. PROVIDE COLOR SAMPLES FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.  
 4. ALL BRACKETS. COLOR TO MATCH FENCE. (PROVIDED BY MANUFACTURER)

ELEVATION: 4' GATE VINYL CHAINLINK N.T.S.

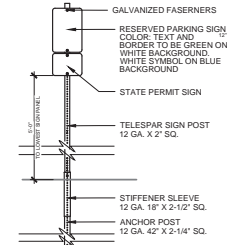


5 L500 TUBE STORAGE FENCE N.T.S.



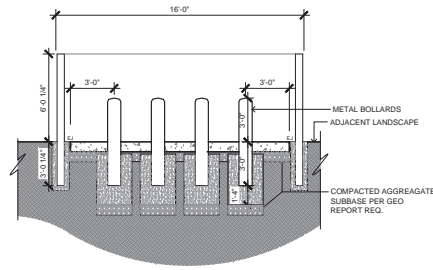
- NOTES:**  
 1. PROVIDE SHOP DRAWINGS OF FENCE AND GATES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.  
 2. FIELD VERIFY LOCATIONS AND DIMENSIONS PRIOR TO FABRICATION.  
 3. COLOR TO BE BLACK. PROVIDE COLOR SAMPLES FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.  
 4. ALL BRACKETS. COLOR TO MATCH FENCE. (PROVIDED BY MANUFACTURER).  
 5. MOW STRIP TO HAVE ONE REBAR ROD THROUGH CENTER HORIZONTALLY AND VERTICALLY.

6 L500 8' CHAIN LINK FENCE W/ MOW STRIP N.T.S.

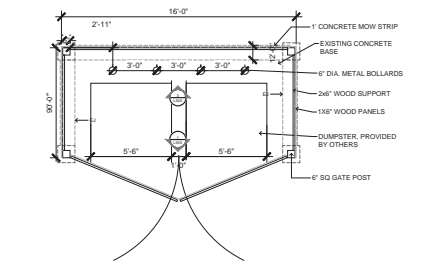


COMPLY WITH ALL LOCAL CODES AND REQUIREMENTS

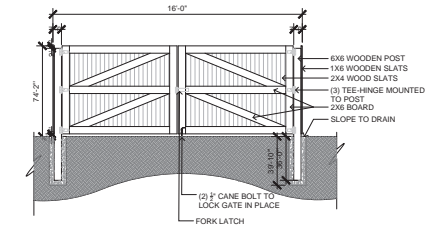
4 L500 ACCESSIBLE PARKING SIGNAGE N.T.S.



3 L500 SECTION: TRASH ENCLOSURE N.T.S.



2 L500 PLAN: TRASH ENCLOSURE N.T.S.



1 L500 ELEVATION: TRASH & TUBE STORAGE GATE N.T.S.



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEAX  
 8265 MAURER RD  
 LENEAX, KS 66219

NO.	DATE	DESCRIPTION
1	12/18/24	PRELIM. PLAN REV.

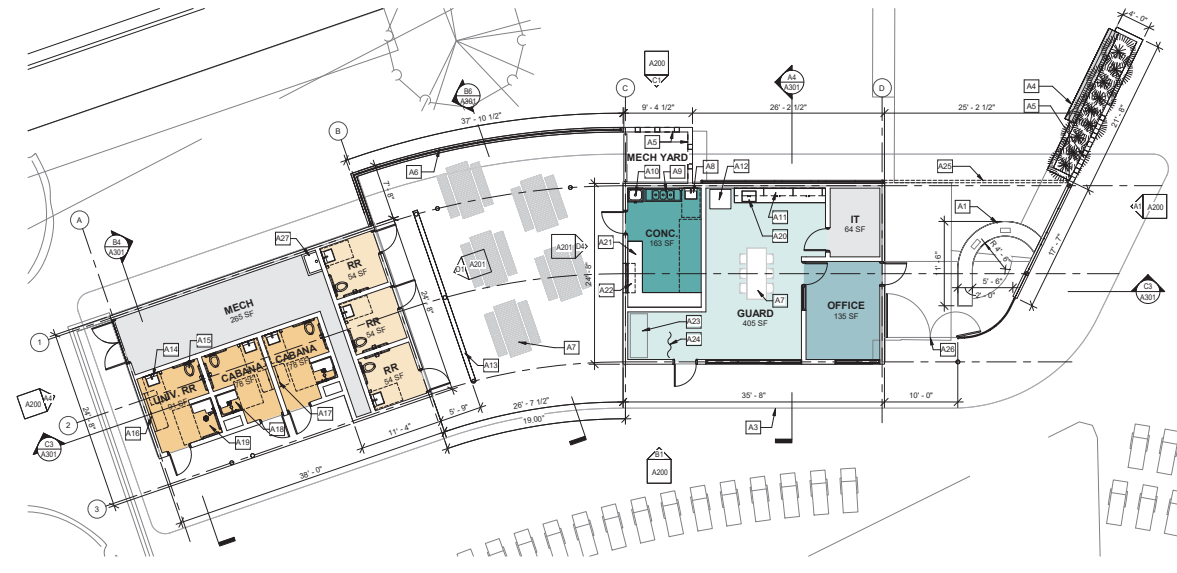
SFS PROJECT NO: 241219  
 ISSUED FOR: PRELIMINARY PLAN  
 ISSUE DATE: 11/25/2024  
 © 2024 SFS ARCHITECTURE  
 SITE DETAILS

L500

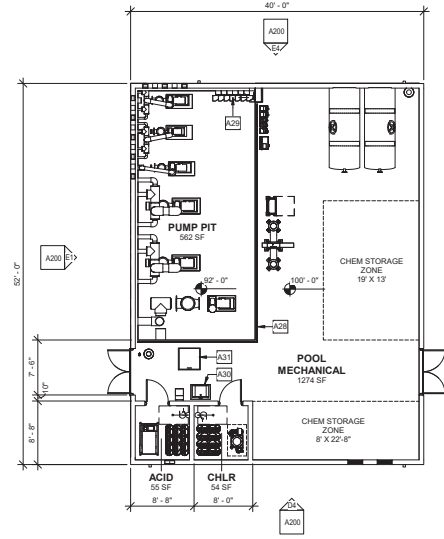


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**C1** FLOOR PLAN - BATH HOUSE  
1/8" = 1'-0"



**A5** FLOOR PLAN - MECHANICAL  
1/8" = 1'-0"

**GENERAL NOTES - FLOOR PLAN**

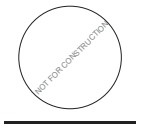
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. IN THE EVENT OF DISCREPANCY, NOTIFY ARCHITECT AND OBTAIN RESOLUTION BEFORE PROCEEDING.
- NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
- WHERE EXISTING CONSTRUCTION AND GRIDS ARE INDICATED, CONTRACTOR SHALL VERIFY EXISTING DIMENSIONED GRIDS PRIOR TO PERFORMING LAYOUT WORK REQUIRED FOR INSTALLATION OF NEW WORK.
- VERIFY EXISTING DIMENSIONS, CONDITIONS AND CLEARANCES PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- ALL SLEEVES, OPENINGS, ETC. FOR CONDUIT, PIPES, DUCTS, ETC. (OUTSIDE OF RATED CHASES) THROUGH FLOOR SLABS AND RATED PARTITIONS ARE TO BE FIRE SEALED IN ACCORDANCE WITH FIRE RATED ASSEMBLY DESIGNS, APPLICABLE CODES AND FIRE MARSHAL'S REQUIREMENTS.
- PROVIDE A MINIMUM OF 3/4" FIRE-RETARDANT TREATED WOOD BLOCKING OR 18 GA. MINIMUM STEEL PLATE BLOCKING AS REQUIRED WITHIN STEEL STUD FRAMED PARTITIONS FOR SECURE AND PROPER ATTACHMENT OF NEW WORK, INCLUDING BUT NOT LIMITED TO AVY EQUIPMENT, MILLWORK, VISUAL DISPLAY SURFACES, SIGNAGE, AND FURNISHINGS WHERE INDICATED ON PLANS.
- WHERE WORK OCCURS IN AREAS WITH EXISTING FINISHES TO REMAIN, REFRESH DISTURBED AREAS TO MATCH EXISTING FINISHES AND MATERIALS UNLESS NOTED OR DIRECTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND DETAIL SHOWN ON THE DRAWINGS. ANY DISCREPANCIES WHICH PRESENT THE ACCOMPLISHMENT OF INTENT SHOWN ON DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. INDICATED CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR.
- WHERE CONDUIT, PIPES, DUCTS, ETC. ARE INDICATED TO BE INSTALLED IN EXISTING WALLS AND NO FURRING IS SHOWN, THE WALLS SHALL BE HEAVILY CHASED. CONDUITS, ETC. INSTALLED, AND WALLS PATCHED TO MATCH EXISTING IN AREAS OF NEW PARTITIONS WHERE CONDUITS, DUCTS, PIPING, ETC. PASS THROUGH FINISHED SPACES, ROUTE WITH PARTITION CONSTRUCTION.
- PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF THE WORK TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER. (##) INDICATES REFERENCED SPECIFICATIONS FOR PRODUCTS AND MATERIALS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PROJECT MANUAL.

**FLOOR PLAN SYMBOLS**

- NEW CONSTRUCTION
- ROOM NAME**  
## ## ROOM NAME AND NUMBER
- CENTER LINE
- MATCH LINE
- DOOR INDICATION TAG
- PARTITION TYPE
- WINDOW TYPES
- PLAN KEYNOTES
- SPOT ELEVATION
- DRAWING REVISION
- NEW GRID IDENTIFIER

**LEGEND - KEYNOTES**

- Key Value    Keynote Text
- A1 BUILT-IN RECEPTION DESK
  - A3 DASHED LINE OF ROOF, ABOVE
  - A4 MASONRY PLANTER AND SEAT WALL
  - A5 MASONRY BREEZE-BLOCK WALL
  - A6 FENCING OVER BLOCK WALL BASE
  - A7 FURNITURE BY OWNER, TYPICAL
  - A8 HAND WASH SINK
  - A9 3 COMPARTMENT SINK
  - A10 MOP SINK CABINET
  - A11 KITCHENETTE CASEWORK AND COUNTER
  - A12 REFRIGERATOR, BY OWNER
  - A13 MASONRY SCREEN WALL, 32" TALL
  - A14 WALL MOUNTED SINK, ACCESSIBLE
  - A15 WALL MOUNTED TOILET, ACCESSIBLE
  - A16 UNIVERSAL CHANGING TABLE
  - A17 BABY CHANGING TABLE
  - A18 TRANSFER SHOWER
  - A19 ROLL-IN SHOWER
  - A20 SINK
  - A21 BUILT-IN STAINLESS STEEL COUNTER
  - A22 COOLING COUNTER DOOR
  - A23 FIRST AID COT, BY OWNER
  - A24 PRIVACY CURTAIN AND ROD
  - A25 TOP-SUSPENDED ENTRY GATE, STEEL FRAME WITH MESH INFILL
  - A26 FABRICATED STEEL SWING GATE
  - A27 MOP SINK
  - A28 FRP GUARDRAIL, 3 RAIL
  - A29 ALUM. ALTERNATING TREAD STAIR
  - A30 UTILITY SINK
  - A31 SURGE SINK ACCESS



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEAX  
8265 MAURER RD  
LENEAX, KS 66219

MARK	DATE	DESCRIPTION

SFS PROJECT NO: 241219  
ISSUED FOR: PRELIMINARY PLAN  
ISSUE DATE: 11.25.2024  
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**FLOOR PLAN - POOL STRUCTURES**

**A100**

1 2 3 4 5 6 7 8

E

D

C














B

A

**GENERAL NOTES - FLOOR PLAN**

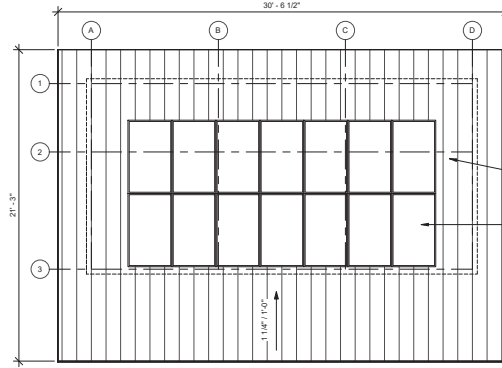
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. IN THE EVENT OF DISCREPANCY, NOTIFY ARCHITECT AND OBTAIN RESOLUTION BEFORE PROCEEDING.
- NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
- WHERE EXISTING CONSTRUCTION AND GRIDS ARE INDICATED, CONTRACTOR SHALL VERIFY EXISTING DIMENSIONED GRIDS PRIOR TO PERFORMING LAYOUT WORK REQUIRED FOR INSTALLATION OF NEW WORK.
- VERIFY EXISTING DIMENSIONS, CONDITIONS AND CLEARANCES PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- ALL SLEEVES, OPENINGS, ETC. FOR CONDUIT, PIPES, DUCTS, ETC. (OUTSIDE OF RATED CHASES) THROUGH FLOOR SLABS AND RATED PARTITIONS ARE TO BE FIRE SEALED IN ACCORDANCE WITH FIRE RATED ASSEMBLY DESIGNS, APPLICABLE CODES AND FIRE MARSHAL'S REQUIREMENTS.
- PROVIDE A MINIMUM OF 3/4" FIRE-RETARDANT TREATED WOOD BLOCKING OR 18 GA. MINIMUM STEEL PLATE BLOCKING AS REQUIRED WITHIN STEEL STUD FRAMED PARTITIONS FOR SECURE AND PROPER ATTACHMENT OF NEW WORK, INCLUDING BUT NOT LIMITED TO AVV EQUIPMENT, MILLWORK, VISUAL DISPLAY SURFACES, SIGNAGE, AND FURNISHINGS WHERE INDICATED ON PLANS.
- WHERE WORK OCCURS IN AREAS WITH EXISTING FINISHES TO REMAIN, REFRESH DISTURBED AREAS TO MATCH EXISTING FINISHES AND MATERIALS UNLESS NOTED OR DIRECTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND DETAIL SHOWN ON THE DRAWINGS. ANY DISCREPANCIES WHICH WILL PREVENT THE ACCOMPLISHMENT OF INTENT SHOWN ON DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. INDICATED CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR.
- WHERE CONDUIT, PIPES, DUCTS, ETC. ARE INDICATED TO BE INSTALLED IN EXISTING WALLS AND NO FURRING IS SHOWN, THE WALLS SHALL BE HEAVILY CHASED. CONDUITS, ETC. INSTALLED, AND WALLS PATCHED TO MATCH EXISTING IN AREAS OF NEW PARTITIONS WHERE CONDUITS, DUCTS, PIPING, ETC. PASS THROUGH FINISHED SPACES, ROUTE WITHIN PARTITION CONSTRUCTION.
- PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF THE WORK TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- (##) INDICATES REFERENCED SPECIFICATIONS FOR PRODUCTS AND MATERIALS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PROJECT MANUAL.

**FLOOR PLAN SYMBOLS**

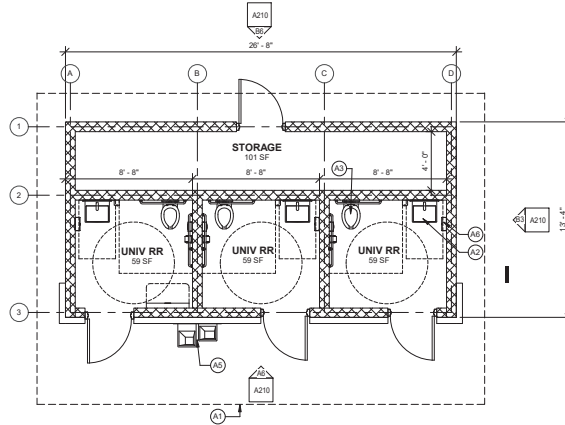
-  NEW CONSTRUCTION
-  EXISTING CONSTRUCTION
- ROOM NAME**  
 ROOM NAME AND NUMBER
-  CENTER LINE
-  MATCH LINE
-  DOOR INDICATION TAG
-  PARTITION TYPE
-  WINDOW TYPES
-  PLAN KEYNOTES
-  SPOT ELEVATION
-  DRAWING REVISION
-  NEW GRID IDENTIFIER
-  EXISTING GRID IDENTIFIER

**LEGEND - KEYNOTES**

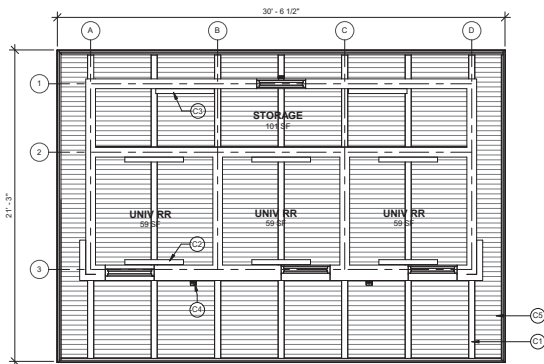
Key Value	Keynote Text
A1	DASHED LINE OF ROOF, ABOVE
A2	WALL MOUNTED SINK
A3	WALL MOUNTED TOILET
A5	DRINKING FOUNTAIN WITH BOTTLE FILLER
A6	WARM AIR DRIVER
C1	TIMBER ROOF FRAMING, STAINED AND SEALED
C2	WALL MOUNT DIRECT/INDIRECT FIXTURE, TYP. AT RESTROOMS
C3	WALL MOUNT INDUSTRIAL STRIP FIXTURE, TYP. AT STORAGE
C4	WALL MOUNT EXTERIOR LIGHTING
C5	TONGUE AND GROOVE ROOF DECK, STAINED AND SEALED
R1	PREFINISHED METAL FASCIA
R2	STANDING SEAM METAL ROOF
R3	ROOF MOUNT PV PANEL ARRAY



**A4**  
**A119** ROOF PLAN - PARK RESTROOM  
1/4" = 1'-0"



**A4**  
**A119** FLOOR PLAN - PARK RESTROOM  
1/4" = 1'-0"



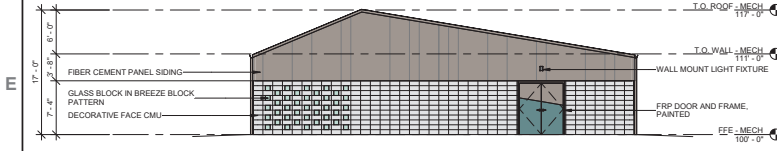
**A1**  
**A119** REFLECTED CEILING PLAN - PARK RESTROOM  
1/4" = 1'-0"



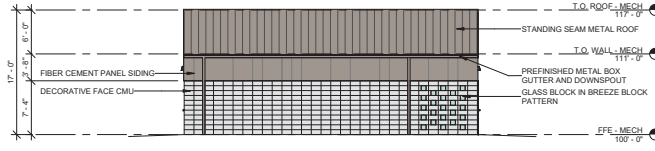
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© 2024 11/20/2024 9:44:42 AM Autodesk Docs/55247219 - Ad Astra Pool Reconstruction/041219 - Ad Astra Pool Restroom - ARCH - A4

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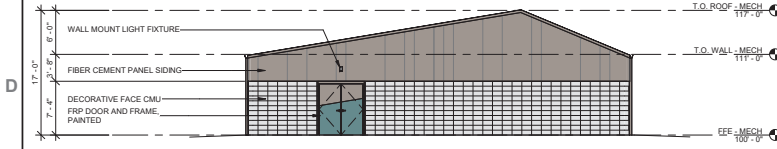
E1 EXTERIOR ELEVATION - POOL MECH. WEST  
1/8" = 1'-0"



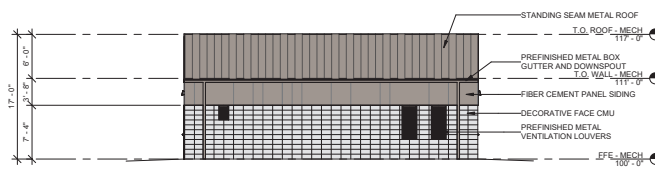
E4 EXTERIOR ELEVATION - POOL MECH. NORTH  
1/8" = 1'-0"

**EXTERIOR ELEVATION LEGEND**

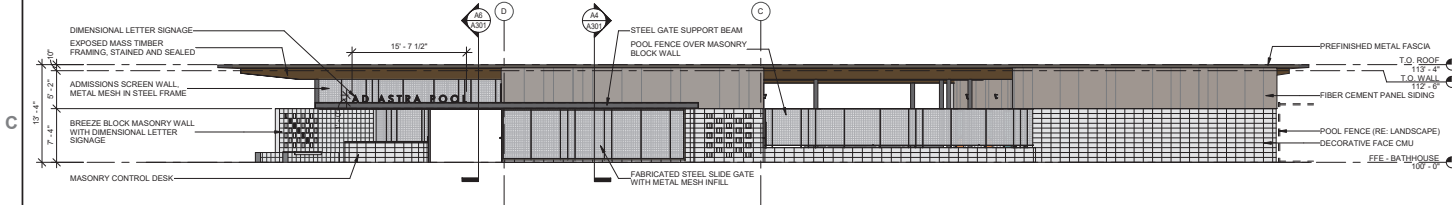
- WINDOW TYPE
- ELEVATION KEYNOTE
- SPOT ELEVATION



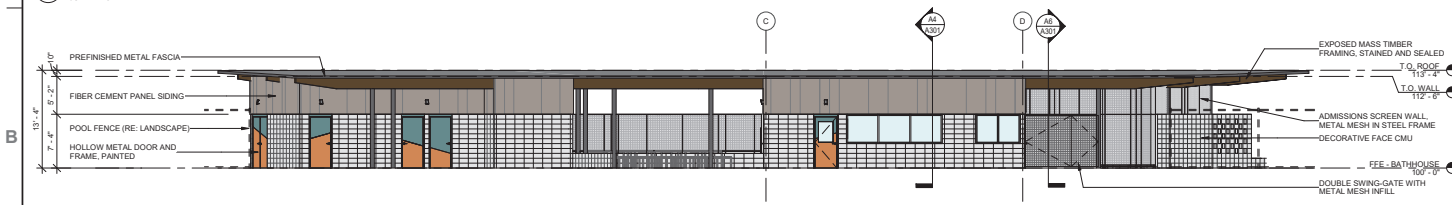
D1 EXTERIOR ELEVATION - POOL MECH. EAST  
1/8" = 1'-0"



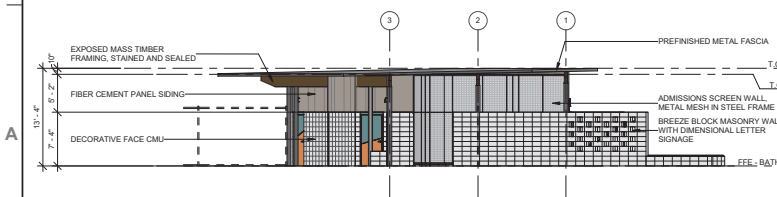
D4 EXTERIOR ELEVATION - POOL MECH. SOUTH  
1/8" = 1'-0"



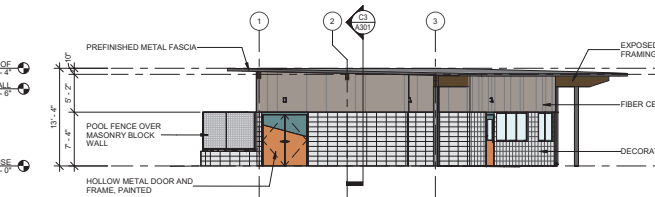
C1 EXTERIOR ELEVATION - BATHHOUSE NORTH  
1/8" = 1'-0"



B1 EXTERIOR ELEVATION - BATHHOUSE SOUTH  
1/8" = 1'-0"



A1 EXTERIOR ELEVATION - BATHHOUSE EAST  
1/8" = 1'-0"



A4 EXTERIOR ELEVATION - BATHHOUSE WEST  
1/8" = 1'-0"



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEXA  
8265 MAURER RD  
LENEXA, KS 66219

MARK	DATE	DESCRIPTION

SFS PROJECT NO: 241219  
ISSUED FOR: PRELIMINARY PLAN  
ISSUE DATE: 11.25.2024  
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EXTERIOR ELEVATIONS - POOL STRUCTURES

A200




© 2024 11/20/2024 9:54:44 AM Autodesk Docs/241219 - Ad Astra Pool Reconstruction/041219 - Ad Astra Pool - ARCH - R24.rvt

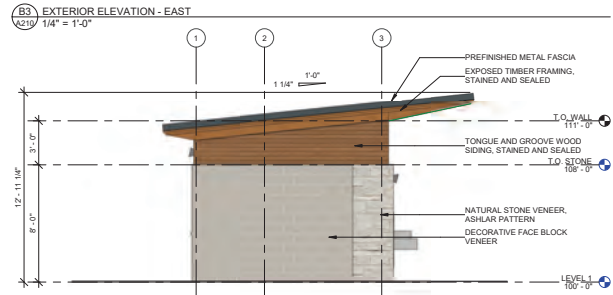
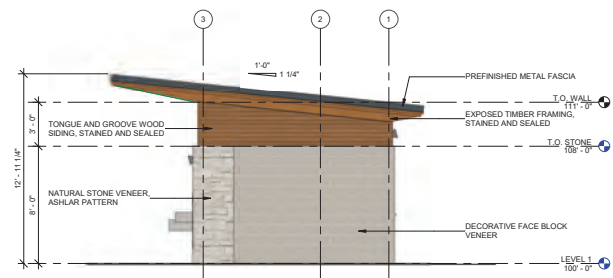


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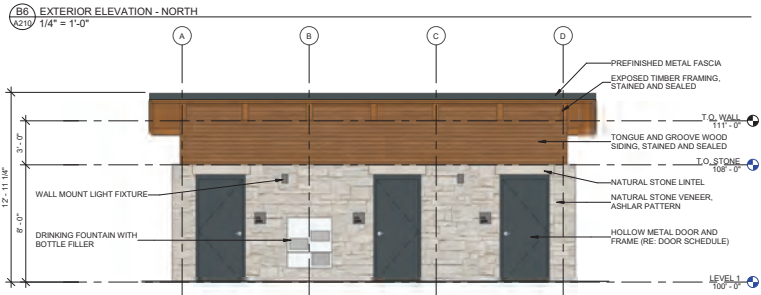
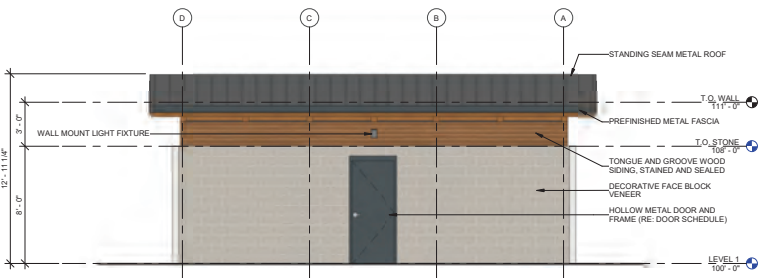
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D  
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**EXTERIOR ELEVATION LEGEND**

-  WINDOW TYPE
-  ELEVATION KEYNOTE
-  SPOT ELEVATION



**A3** EXTERIOR ELEVATION - WEST  
1/4" = 1'-0"



**A6** EXTERIOR ELEVATION - SOUTH  
1/4" = 1'-0"

**B6** EXTERIOR ELEVATION - NORTH  
1/4" = 1'-0"



**AD ASTRA POOL RECONSTRUCTION**

CITY OF LENEXA  
8265 MAURER RD  
LENEXA, KS 66219

MARK	DATE	DESCRIPTION

SFS PROJECT NO: 241219  
ISSUED FOR: PRELIMINARY PLAN  
ISSUE DATE: 11-25-2024  
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**EXTERIOR ELEVATIONS - PARK RESTROOM**

**A210**

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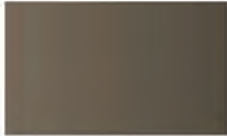
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## ARCHITECTURAL MATERIAL BOARD

### POOL BATHHOUSE



**METAL FINISHES**  
BRONZE FINISH  
PREFINISHED METALS, FASCIA, FLASHINGS,  
ALUMINUM FRAMED GLAZING  
MATCHING PAINTED FINISH ON STRUCTURAL STEEL



**EXPOSED TIMBER ROOF STRUCTURE**  
STAIN AND SEALER



**FIBER CEMENT SIDING**  
PAINTED FIBER CEMENT PANEL WITH  
PREFINISHED ALUMINUM REVEALS



**ACCENT PAINT**  
DECORATIVE PATTERN AT DOORS  
SIGNAGE COLOR



**DECORATIVE FACE MASONRY**  
BURNISHED FACE CONCRETE MASONRY  
UNIT WITH INTEGRAL COLOR MORTAR  
DECORATIVE BREEZE BLOCK PATTERN

### POOL FILTER BUILDING



**STANDING SEAM METAL ROOF**  
PREFINISHED STANDING SEAM PROFILE  
ROOF PANEL



**FIBER CEMENT SIDING**  
PAINTED FIBER CEMENT PANEL WITH  
PREFINISHED ALUMINUM REVEALS



**ACCENT PAINT**  
DECORATIVE PATTERN AT DOORS  
SIGNAGE COLOR



**DECORATIVE FACE MASONRY**  
BURNISHED FACE CONCRETE MASONRY  
UNIT WITH INTEGRAL COLOR MORTAR

### PARK RESTROOM BUILDING



**STANDING SEAM METAL ROOF**  
PREFINISHED STANDING SEAM PROFILE  
ROOF PANEL



**EXPOSED TIMBER ROOF STRUCTURE**  
STAIN AND SEALER



**WOOD SIDING**  
TONGUE AND GROOVE CEDAR  
WOOD SIDING, STAINED AND  
SEALED



**NATURAL STONE VENEER**  
COTTONWOOD LIMESTONE MASONRY  
VENEER, ASHLAR PATTERN



**DECORATIVE FACE MASONRY**  
BURNISHED FACE CONCRETE MASONRY  
UNIT WITH INTEGRAL COLOR MORTAR



AD ASTRA POOL RECONSTRUCTION

CITY OF LENEXA  
8265 MAURER RD  
LENEXA, KS 66219

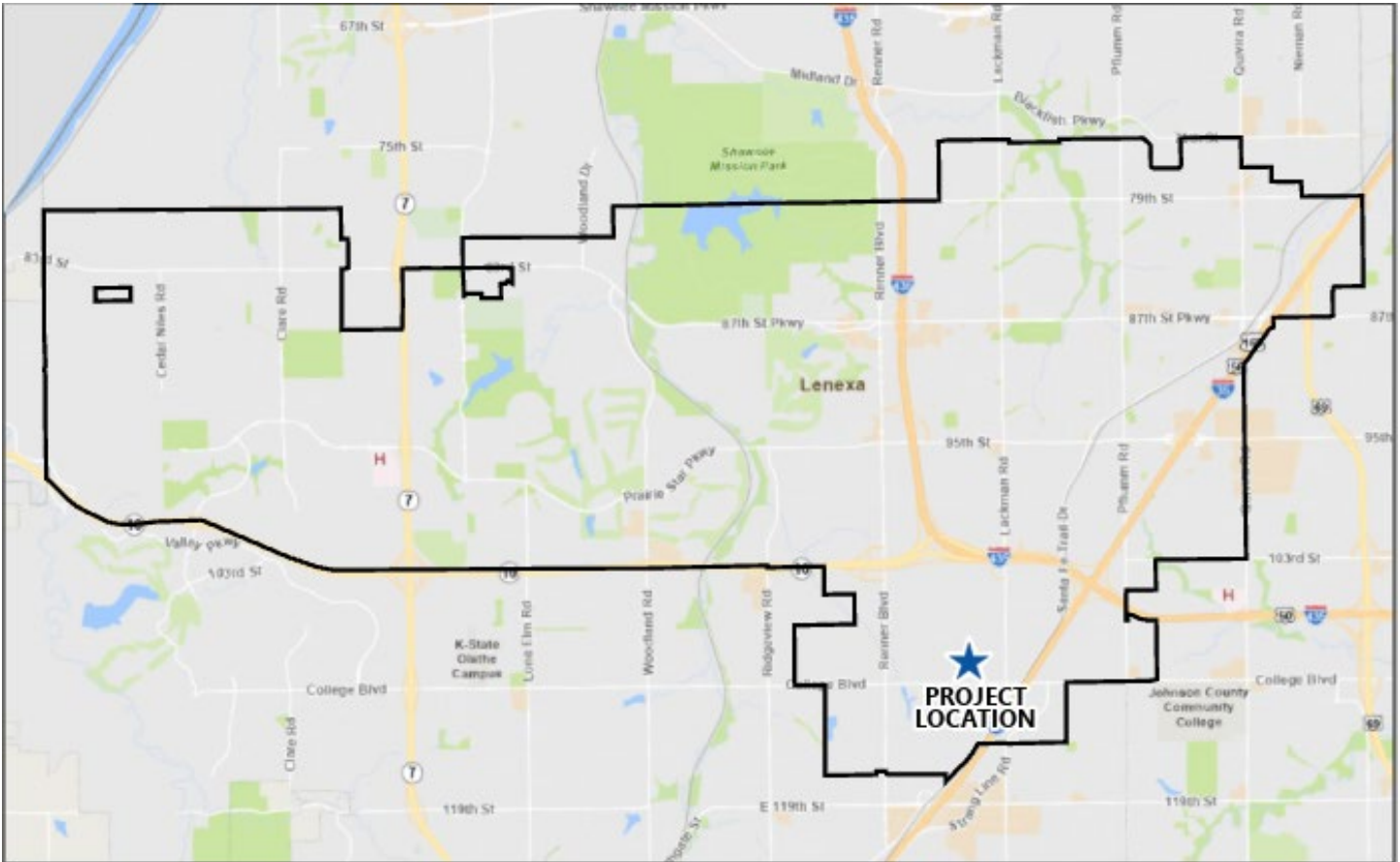
MARK	DATE	DESCRIPTION

SFS PROJECT NO. 241219  
ISSUED FOR: PRELIMINARY PLAN  
ISSUE DATE: 11-25-2024  
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ARCHITECTURAL  
MATERIAL BOARD

A300

# REAL CHURCH

<b>Project #:</b>	SU25-01	<b>Location:</b>	15602-15618 College Boulevard
<b>Applicant:</b>	Danny Slavens Jr., Real Church Pastor	<b>Project Type:</b>	Special Use Permit
<b>Staff Planner:</b>	Noah Vaughan	<b>Proposed Use:</b>	Church or Place of Worship



## PROJECT SUMMARY

The applicant requests approval of a special use permit (SUP) for a *church or place of worship* use to operate at 15602-15618 College Boulevard within the BP-1, Planned Business Park Zoning District. Per the Unified Development Code (UDC) [Section 4-1-B-6](#), a SUP is required to operate a *church or place of worship* use within the BP-1 Zoning District. Real Church has operated at 11221 Strang Line Road since 2019 but has outgrown the space and is looking to move operations to a larger location. The typical worship service occurs on Sundays at 10:00 AM and has an average attendance of 150 people. The church also offers childcare services during church service as an ancillary use. This request requires a Public Hearing at the Planning Commission meeting and final consideration by the Governing Body.

**STAFF RECOMMENDATION: APPROVAL FOR FIVE YEARS**



## SITE INFORMATION

The subject site for Real Church is approximately the west 18,000 SF within a 38,364 SF multitenant building. The proposed tenant space is addressed as 15602-15618 College Boulevard and is to be utilized as one tenant space. The building is located on a 1.73-acre lot in the College West Business Center subdivision. The College West Business Center final plat was approved by the Governing Body on June 21, 1990 and consists of two lots and the multitenant building includes condominium platting for 20 commercial units. The building was constructed in 1989, and each commercial unit has been utilized in the past by many different companies, mainly as office space for business. The most recent tenant of the west half of the building was Digital Ally, a company focused on providing surveillance and video equipment to police departments

Three businesses occupy tenant spaces in the eastern half of the existing building:

1. Willow ABA Services, an autism therapy provider;
  - Medical Clinic and Office use.
  - 5 employees.
  - Operates from 8 AM – 5 PM, Monday through Friday.
  
2. Ethos Medical Staffing/Heartland Healthcare Providers, a medical staffing agency;
  - Office use.
  - 2 employees.
  - Operates from 8 AM – 5 PM, Monday through Friday.
  
3. FBL Financial Group, an insurance provider.
  - Office use.
  - 2 employees
  - Operates from 8:30 AM – 5:30 PM, Monday through Friday.

LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
1.73	17,781	BP-1	Business Park



*Exhibit 1: Aerial Image of Subject Site. Proposed tenant space for Real Church outlined in red.*



**Exhibit 2: Picture of driveway entrance, front façade, and parking at subject property.**

## LAND USE REVIEW

The subject property is zoned BP-1, Planned Business Park District. *Church or place of worship* is a limited use in this zoning district as it is only permitted with a special use permit. Real Church was also issued a special use permit in February 2019 for their current operation at 11229 Strang Line Road, which is also zoned BP-1.

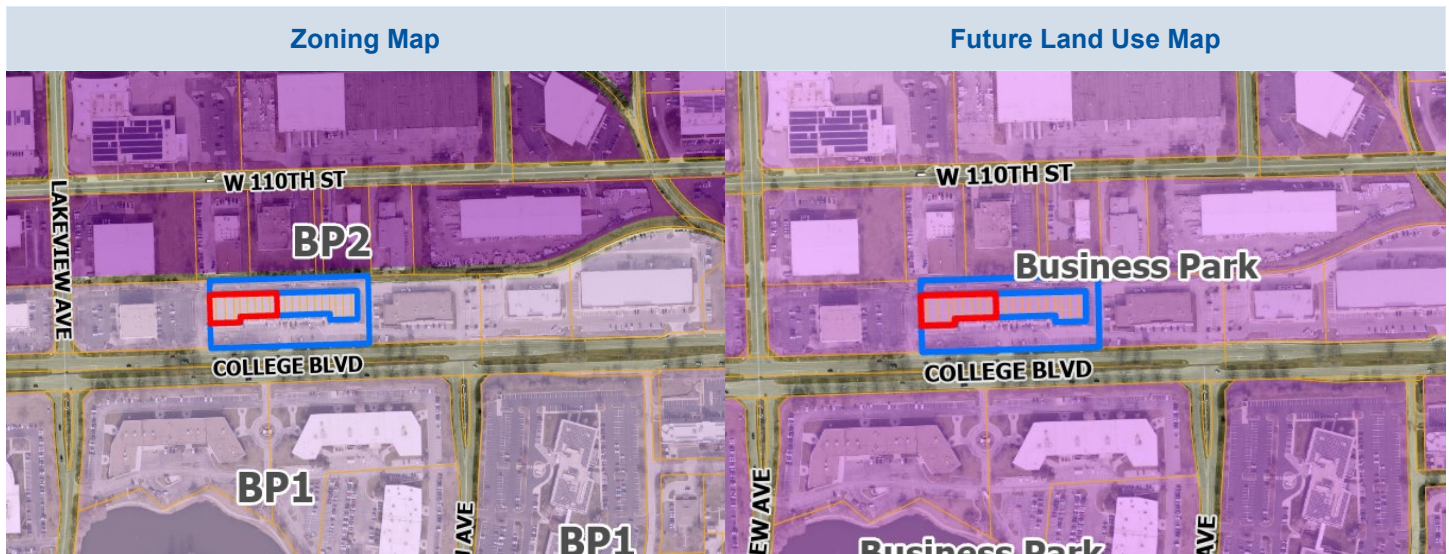
Per UDC [Section 4-3-C-2](#), the *church or place of worship* use is defined as:

*“Any structure or site such as a church, synagogue, chapel, sanctuary or cathedral, used for the collective or individual involvement with a religious activity, such as rites, rituals, ceremonies, prayers and discussions.”*

The proposed hours of service will be on Sunday from 10:00 AM to 11:30 AM. Because the other businesses in the vicinity will not be operating at this time, the church plans to utilize all the parking available on-site in addition to the extra parking spaces provided via a shared parking agreement with 15700 College Boulevard. This agreement provides an additional 38 spaces to the 110 spaces available on-site for a total of 148 spaces. Because the church has 200 available seats, 67 parking spots are required by code. The church estimates that 150 people will be in attendance during Sunday service, so no parking conflicts are expected with the proposed parking plan.

TABLE 1: PARKING ANALYSIS				
Land Use	Parking Formula	Required Parking	Proposed Provided	Difference
Church	1 seat per 3 seats in assembly area	67	148	+81

On holidays and with other services expected to have high attendance, the church will offer two service times, one at 9:00 AM and one at 11:00 AM, to help reduce congestion. The church will also have an additional youth gathering every Monday at 6:30 PM to 8:00 PM. There should be no parking conflicts due to the youth gatherings not overlapping with the operating hours of other on-site businesses. Attendance at these youth groups is expected to be around 30 teenagers, with half of them driving and parking while the other half would be dropped off and picked up at the start and end times. The church also hosts a men’s breakfast gathering on the first Saturday of each month, which is not anticipated to create parking conflicts.



**TABLE 2: COMPARISON OF SURROUNDING PROPERTIES**

Vicinity	Land Use Designation	Zoning	Current Use
<b>Subject Property</b>	Business Park	BP-1, Planned Business Park District	Office and Warehousing and Wholesale, general
<b>North</b>	Business Park	BP-2, Planned Manufacturing District	Office, Manufacturing, Warehousing and Wholesale, general
<b>South</b>	Business Park	BP-1, Planned Business Park District; BP-2, Planned Manufacturing District; CP-O, Planned General Office District	Office and Warehousing and Wholesale, general
<b>East</b>	Business Park	BP-1, Planned Business Park District; BP-2, Planned Manufacturing District	Office, Medical Clinic, Retail
<b>West</b>	Business Park, Institutional	BP-1, Planned Business Park District; BP-2, Planned Manufacturing District	Office, Medical Lab, and Warehousing and Wholesale, general

**SUPPLEMENTARY USE REGULATIONS**

A church or place of worship use is subject to the supplementary use regulations of Section 4-1-B-23-R of the Unified Development Code. These include the following:

- Access:** These uses shall be allowed only on lots with direct access to or within acceptable distances to a collector or arterial street.  
Access to the property is directly serviced by College Boulevard, an arterial street in Lenexa.
- Plan Approval:** Preliminary and final development plans shall be approved by the City as outlined in [Section 4-1-H-3](#) of this Chapter.  
This application will not require a preliminary and final development plan approval as the site is already constructed.



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## SPECIAL USE PERMIT REVIEW

---

The applicant requests a special use permit for a *church or place of worship* to operate at 15602-15618 College Boulevard within the BP-1, Planned Business Park District.

While the UDC does not specify a recommended duration for a SUP to be issued for a *church or place of worship* use, Staff recommends a five-year duration based on past Staff recommendations, including the previous SUP issued to Real Church through SU19-03.

Staff's primary concern regarding the special use at this location has been related to parking. The application includes information about the amount of parking available, how church staff will help to instruct attendees where to park, as well as utilization of parking cones to direct traffic. The applicant acknowledges that parking outside of the designated parking areas may result in conflicts with the neighboring properties, such as the towing of improperly parked cars. See additional information in item number 10 in the analysis of the review criteria.

Based on the applicant's mitigation of parking concerns, Staff concludes the requested use would not create undue hardship or generate negative impacts on the surrounding properties. However, Staff believes that because the use is new to the College West Business Center, a five-year initial SUP period is appropriate to monitor impacts and ensure the use is appropriate for the area.

Staff provides the following analysis to the review criteria within [Section 4-1-G-5](#) of the UDC.

### 1. The character of the neighborhood.

The surrounding area is comprised mostly of office, warehousing, wholesale, and manufacturing space. While a church may not be similar in character, it has been compatible with these types of businesses due to having alternate hours of operation. It is unlikely that traffic or parking problems would transpire as a result of Real Church's proposed operations.

### 2. The zoning and use of properties nearby.

The zoning and uses of surrounding properties are listed in Table 2. Staff believes the use is compatible with surrounding properties, given the hours of operation.

### 3. The suitability of the subject property for the uses to which it has been restricted.

*Churches and places of worship* are permitted uses in Lenexa, provided the applicant meets the applicable supplemental use and zoning regulations. *Churches and places of worship* as a use within the BP-1 Zoning District requires the owner/applicant to obtain a SUP. It is Staff's opinion that the subject property is adequately suited for a *church/place of worship*, given that the property can accommodate parking for the maximum occupancy expected with the new use.

### 4. The extent to which the proposed use will detrimentally affect nearby property.

It is Staff's opinion that the proposed use will not adversely affect surrounding properties. If any concerns emerge regarding parking, traffic flow, noise, or other impacts on nearby property owners while the SUP is active, Staff may undertake a review of these concerns and consider initiating the process to revoke the SUP.

**5. The length of time the subject property has remained vacant as zoned.**

The properties have been occupied by various businesses since its construction in 1989. The applicant is under contract to purchase and own the subject properties in the building within a year if the use is approved.

**6. The relative gain to public health, safety, and welfare due to the denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.**

There would be no substantial gain to the public health, safety, and welfare if the SUP were to be denied. The applicant would be unable to keep operations at the current accommodations that the church has if the SUP were to be denied unless another suitable location was identified by the applicant. The overall impact to the public primarily stems from potential parking or traffic flow issues, which may be minimal as there is currently little to no overlap with the hours of operation for Real Church and the surrounding businesses.

**7. Recommendation of City's permanent professional staff.**

See the Staff Recommendation at the end of this report.

**8. Conformance of the requested change to the adopted or recognized Master Plan being utilized by the City.**

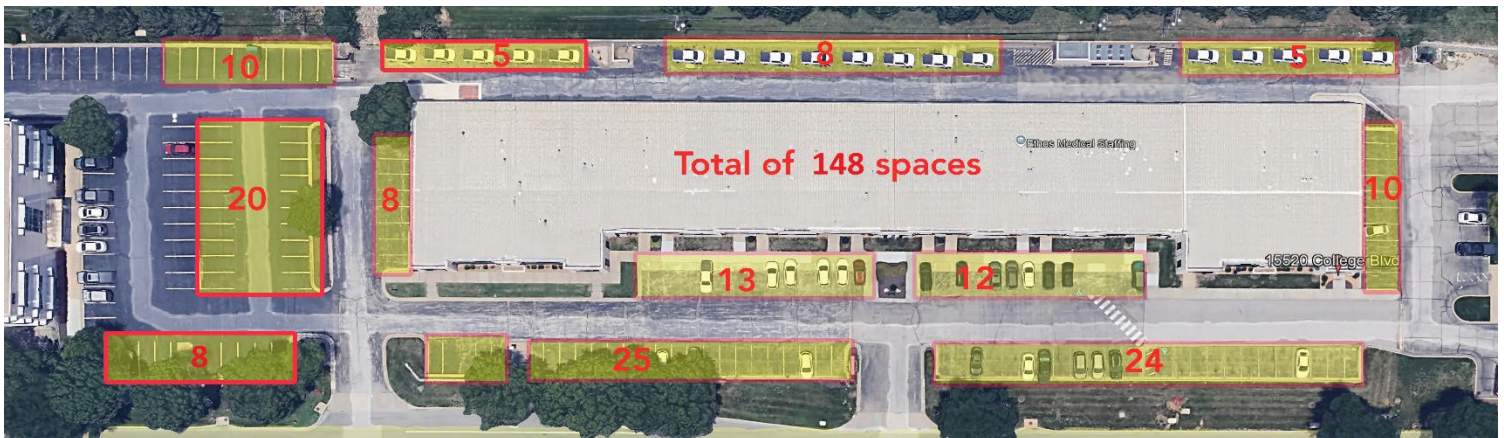
The proposed church does not require rezoning of the property and is allowed as a special use within the BP-1 District, which is designated to be "Business Park" in the Lenexa Future Land Use Map. The zoning and FLU designation will not be affected by approval of this SUP. In addition, the church is in close proximity to the College and Renner neighborhood node identified in Lenexa's Comprehensive Plan. Therefore, the land use is in conformance with the Future Land Use Map and Master Plan.

**9. The availability and adequacy of required utilities and services to serve the proposed use. These utilities and services include, but are not limited to, sanitary and storm sewers, water and electrical service, police and fire protection, schools, parks and recreation facilities, etc.**

Adequate utilities exist on the site. There is no anticipated impact on police, fire, schools, or park facilities.

**10. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the street network influenced by the use, or present parking problems in the vicinity of the property.**

Because service will generally be conducted on Sundays at 10:00 AM, it is not expected for the street network to be overburdened by the addition of this use to the area. Nearby tenants do not generally operate on Sundays and traffic flow during normal workdays for these businesses will not conflict with the additional traffic introduced from Real Church's operations. Provided that the parking plan presented by the applicant is followed, no parking issues are expected to occur as the parking area for College West Business Center will be open for the church to utilize during service, which will only last an hour and a half. This plan includes church staff guidance and parking cones to assist attendees to park in the correct locations and not off-property or in spots that are not included within the shared parking agreement.



**Exhibit 3: Parking available at the proposed location, including the shared parking agreement with the neighboring property to the west.**

- 11. The environmental impacts the proposed use will generate including, but not limited to, excessive stormwater runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting, or other environmental harm.**

Staff does not anticipate the proposed church use to generate excessive stormwater runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting, or other environmental harm.

- 12. The extent to which the proposed development would adversely affect the capacity or water quality of the stormwater system, including without limitation, natural stream assets in the vicinity of the subject property.**

There are no plans for site work or construction that would increase the impervious area of the site or adversely affect the capacity or water quality of the stormwater system or natural assets.

- 13. The ability of the applicant to satisfy any requirements (e.g. site plan, etc.) applicable to the specific use imposed pursuant to the zoning regulations in this Chapter and other applicable ordinances.**

The operation of a church or place of worship is regulated in [Section 4-1-B-23](#) of the Unified Development Code. The applicant is required to comply with regulations such as business licensing and state requirements for incorporated, non-profit organizations. The applicant has complied with applicable processes to date, and it is the opinion of Staff that the applicant is able to satisfy the requirements of the zoning regulations.

## DEVIATIONS

The applicant is not requesting any deviations from the Unified Development Code (UDC).



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## NEXT STEPS

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- This project requires a recommendation from the Planning Commission and final approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration by the City Council on January 21, 2025.
- The applicant should inquire about additional City requirements and fees.
- The applicant must obtain an updated Business License prior to opening for business.

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## RECOMMENDATION FROM PROFESSIONAL STAFF

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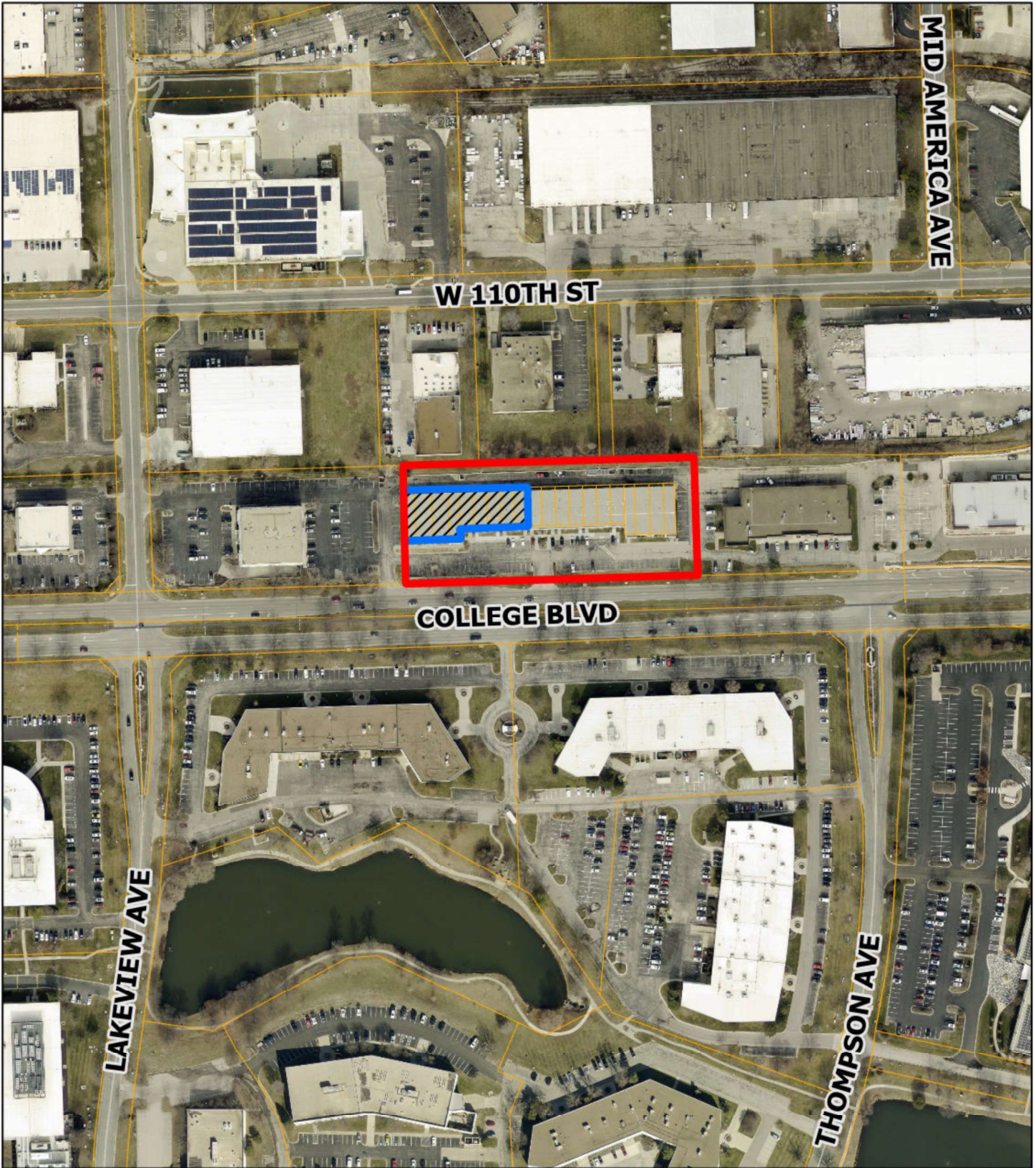
★ **Conduct a Public Hearing.**

★ **Staff recommends approval of the proposed Special Use Permit for Real Church.**

- The recommended duration of the SUP approval is five years to ensure the use does not create parking issues and is compatible with the business park.
- The requested special use permit is for a *church or place of worship* in the BP-1, Single Family Zoning District.
- The project is consistent with Lenexa's goals through **Community Facilities and Infrastructure** to plan and encourage civic uses to be located near neighborhood nodes (11.4).

## SPECIAL USE PERMIT

Staff recommends **APPROVAL** of SU25-01 - a special use permit for a *church or place of worship* use for **Real Church** at 15602-15618 College Boulevard, for five years with no conditions.



Data Source: City of Lenexa and Johnson County Kansas  
For further information, please call 913-477-7500

# Real Church Special Use Permit







REAL CHURCH  
11221 Strang Line Rd.  
Lenexa, KS 66219

11/25/24  
Lenexa Kansas Community Development  
City Planners Office  
17101 W. 87<sup>th</sup> St. Pkwy.  
Lenexa, KS 66219

To Whom It May Concern,

I am Danny R. Slavens Jr., founder and president of Real Church. Real Church is submitting our Special Use Permit application for the city of Lenexa.

Real Church has been located and operating in Lenexa since 2018. Our current SUP & Occupancy Permit is at 11221 Strang Line Rd., Lenexa, KS 66215. We have outgrown our space and parking lot and found a new location for sale nearby. We are now under contract with the property owner of 15520 College Blvd., Lenexa, KS 66215. Our contract agreement is for purchasing the property's west side (17,781 sq/ft). We will be sharing the outside common space. Real Church is certified 501,c3, incorporated, and maintains a business license in the State of Kansas (see attached). Our attendance average is 150 per Sunday morning service. Our church service time is on Sunday(s) at 10:00 AM. We will also host our Youth Gatherings on Mondays at 6:30 PM and a Men's Breakfast gathering at the church on the 1st Saturday of the month. We do not have hours of operation on weekdays (MON-FRI), and our offices are closed to the public. As needed, during holidays and high-attended services, we plan to offer two service times (9:00 AM & 11:00 AM) to decongest the parking lot (i.e., Easter and Christmas).

We seek to change the building's zoning to an assembly space and operate our church full-time in the new location. The current space does not need external or internal changes made for us to set up and operate as a church. The only consideration in terms of build-out is removing a wall (20x15) to create a larger entryway for our members. We are seeking to add 50 interlocked chairs to the sanctuary space, 200 in total. We will add (2) doors (fire-regulated) to the east wing and interior of the building to secure our Kids' department. We will submit the building permits once we receive our SUP approval. Our Kid's department operates on Sundays from 10:00 AM to 11:30 AM and runs concurrently with our primary church service. We offer childcare for infants, toddlers, and elementary-age students. We will convert existing offices into age-appropriate and supervised classrooms.

At our new location, we have 148 shared parking spaces. An existing parking easement agreement with the property to the west of our new location is in place. All tenants can access the shared parking lot during the week, which Real Church solely uses on Sundays. The current owner has and will maintain ownership of the parking lot and the deed. Real Church has a "Welcome & Security Team" that monitors the parking lot to help with traffic flow and maintain parking requirements. We also utilize parking cones to direct traffic and designated areas.

Sincerely,

A handwritten signature in black ink, appearing to read "Danny Slavens", followed by a period.

Danny Slavens  
Senior Pastor



**EXHIBIT A**

**PROPERTY LEGAL DESCRIPTION**

LOT 1, TRACT A, TRACT B, TRACT C, TRACT D, TRACT E, TRACT F, TRACT G, TRACT H, TRACT I, TRACT J, AND TRACT K, COLLEGE WEST BUSINESS CENTER, IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS.

**EXHIBIT B**

**CHURCH PROPERTY  
LEGAL DESCRIPTION**

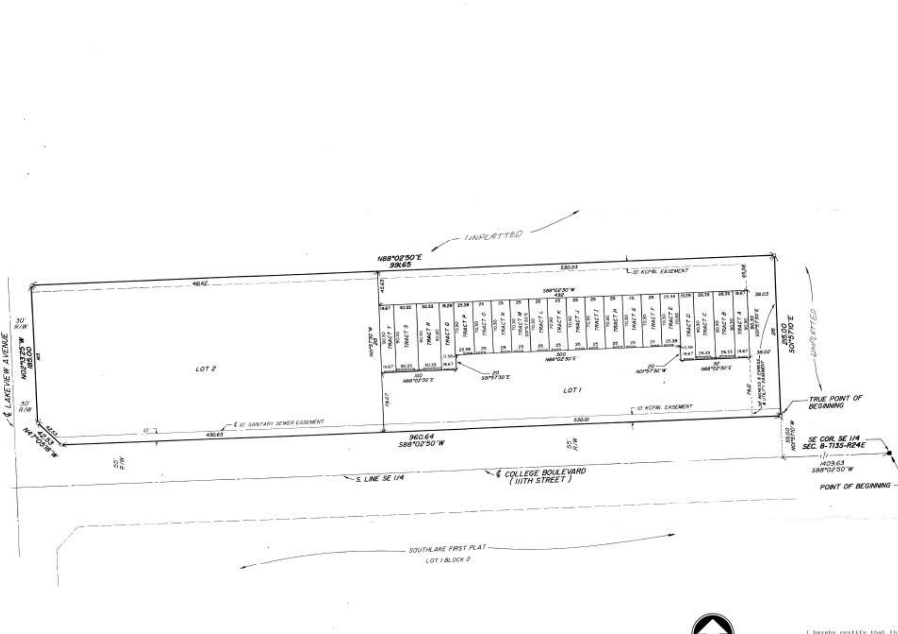
TRACT L, TRACT M, TRACT N, TRACT O, TRACT P, TRACT Q, TRACT R, TRACT S AND TRACT T, COLLEGE WEST BUSINESS CENTER, IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS.

EXHIBIT C

PLAT

COLLEGE WEST BUSINESS CENTER  
FINAL PLAT

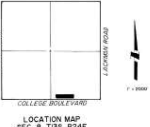
1981643  
STATE OF KANSAS  
DEPARTMENT OF REVENUE  
DIVISION OF LANDS  
PLAT 1734 1/2



This is a survey and plat of part of the SW 1/4 of Section 8, T13S, R24E, now in the City of Lawrence, Johnson County, Kansas, more particularly described as follows:  
Beginning at the southeast corner of the SW 1/4 of Section 8, T13S, R24E, Johnson County, Kansas; thence S 89° 02' 50" W, along the South line of said SW 1/4, a distance of 128.00 feet to a point on the North right-of-way of College Boulevard, as now established, and from said point to the true point of beginning, a distance of 89.00 feet, along each of which a plat was recorded with the South line of said SW 1/4, a distance of 104.00 feet; thence S 47° 05' 10" W, a distance of 42.53 feet to a point on the East right-of-way line of Lawrence Avenue, as now established, a distance of 121.32 feet; thence along the East line of said SW 1/4, a distance of 121.32 feet to the corner of said SW 1/4 with the E 1/4 of said SW 1/4, a distance of 121.32 feet; thence S 89° 02' 50" W, parallel with the SW 1/4 line of said SW 1/4, a distance of 128.00 feet to the true point of beginning, containing 4.885 acres, more or less.  
The undersigned proprietor of the above described tract of land here dedicates the same to be subdivided to the number shown on the accompanying plat, which subdivision and plat shall hereinafter be known as "COLLEGE WEST BUSINESS CENTER".  
The streets and roads shown on this plat and not heretofore dedicated to public use, are hereby so dedicated.  
An easement of 10 feet in width dedicated to the City of Lawrence and the Public Utility Company to enter upon, construct and maintain utility lines upon and under those same easements and designated on the plat as "UTILITY EASEMENT OF 10 FEET".  
Proprietors of all lots and users in this subdivision shall hereafter be subject to the declarations and restrictions which will be recorded on a separate instrument of writing and will be provided to the Office of the Register of Deeds of Johnson County, Kansas, and declarations and restrictions will thereby be made a part of the dedication of this plat as though fully set forth herein.  
The undersigned proprietor of the above described tract of land hereby consents and agrees that the Board of County Commissioners of Johnson County, Kansas, and the City of Lawrence, Kansas, shall have the right to franchise such land proposed to be dedicated for public use and transportation of gas or water, for public use, from the time and effect of any special ordinance, and that the amount of the special special assessments on such land dedicated shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated public way or thoroughfare.

IN WITNESS WHEREOF, the undersigned proprietors have set their hands and the seal of the  
COLLEGE WEST DEVELOPMENT COMPANY  
a Kansas General Partnership  
John P. ...  
STATE OF KANSAS  
COUNTY OF JOHNSON  
BE IT REMEMBERED, that on this 20<sup>th</sup> day of ...  
An easement of 10 feet in width dedicated to the City of Lawrence and the Public Utility Company to enter upon, construct and maintain utility lines upon and under those same easements and designated on the plat as "UTILITY EASEMENT OF 10 FEET".  
Proprietors of all lots and users in this subdivision shall hereafter be subject to the declarations and restrictions which will be recorded on a separate instrument of writing and will be provided to the Office of the Register of Deeds of Johnson County, Kansas, and declarations and restrictions will thereby be made a part of the dedication of this plat as though fully set forth herein.  
The undersigned proprietor of the above described tract of land hereby consents and agrees that the Board of County Commissioners of Johnson County, Kansas, and the City of Lawrence, Kansas, shall have the right to franchise such land proposed to be dedicated for public use and transportation of gas or water, for public use, from the time and effect of any special ordinance, and that the amount of the special special assessments on such land dedicated shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated public way or thoroughfare.

APPROVED TO THE PLANNING COMMISSION OF THE CITY OF LAWRENCE, KANSAS,  
this 27<sup>th</sup> day of July, 1990.  
By ... Chairman  
APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF JOHNSON, KANSAS,  
this 21<sup>st</sup> day of July, 1990.  
By ...  
WILLIAM MATTHEW ...  
By ...



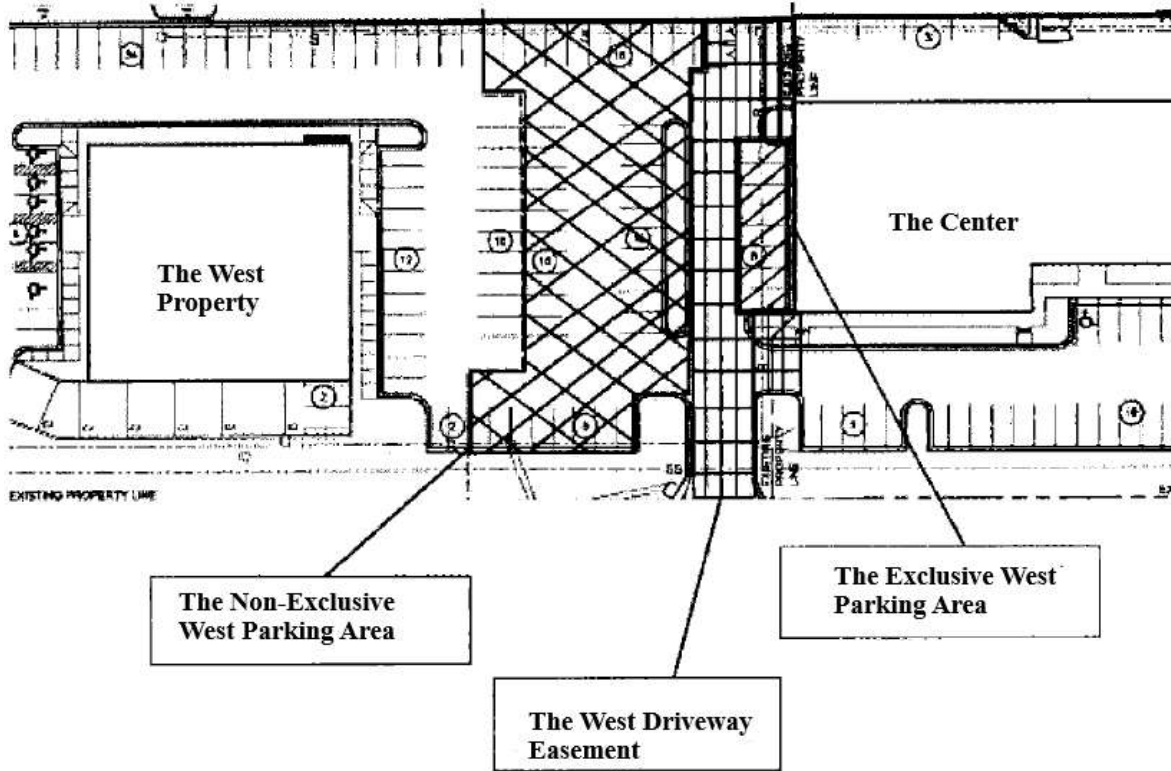
I hereby certify that this is an accurate and true plat of survey of this  
this 31<sup>st</sup> day of July, 1990.  
Notary Public  
JOHNSON COUNTY, KANSAS  
SEAL

COLLEGE WEST BUSINESS CENTER  
SEC. 8, T13S, R24E,  
JOHNSON COUNTY, KANSAS  
PAYNE & BROCKWAY P.A.  
OLATHE, KANSAS



**EXHIBIT D**

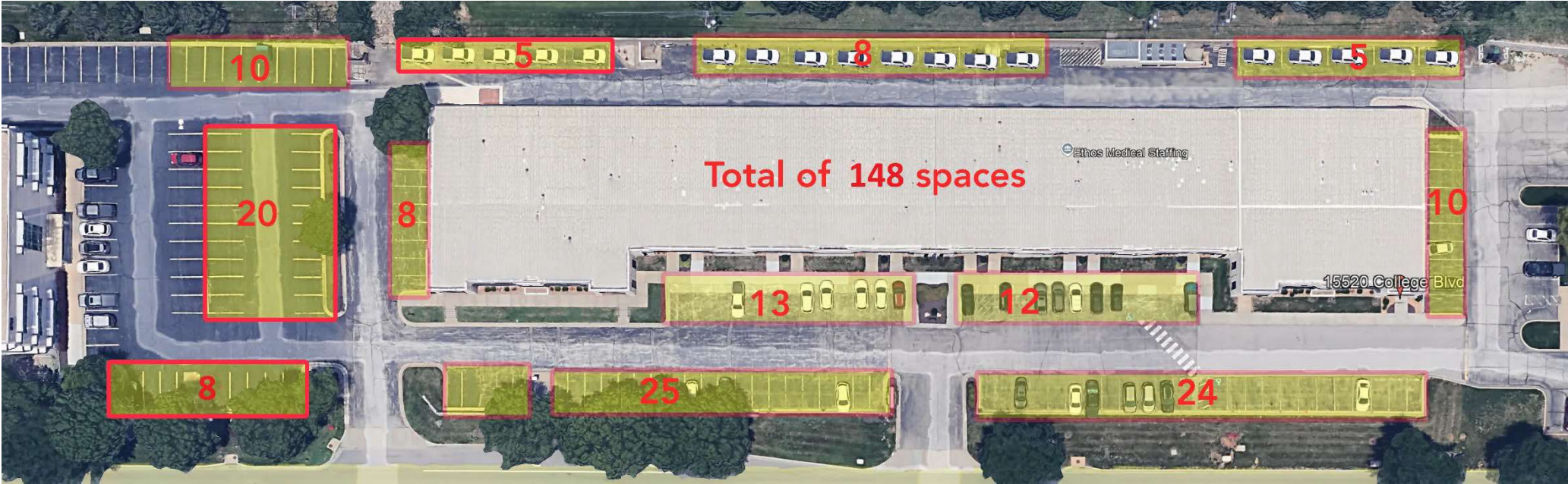
**NON-EXCLUSIVE WEST PARKING AREA  
EXCLUSIVE WEST PARKING AREA**



**EXHIBIT G**

**SQUARE FOOTAGE OF TRACTS**

Tract	Address	Sq Feet
T	15618 College	1,776.2
S	15616 College	2,738.8
R	15614 College	2,738.8
Q	15612 College	1,749.4
P	15610 College	1,784.2
O	15608 College	1,757.5
N	15606 College	1,757.5
M	15604 College	1,757.5
L	15602 College	1,757.5
K	15600 College	1,757.5
J	15550 College	1,757.5
I	15536 College	1,757.5
H	15534 College	1,757.5
G	15532 College	1,757.5
F	15530 College	1,757.5
E	15528 College	1,784.2
D	15526 College	1,749.5
C	15524 College	2,377.6
B	15522 College	2,377.6
A	15520 College	1,776.2
	TOTAL:	38,427.5

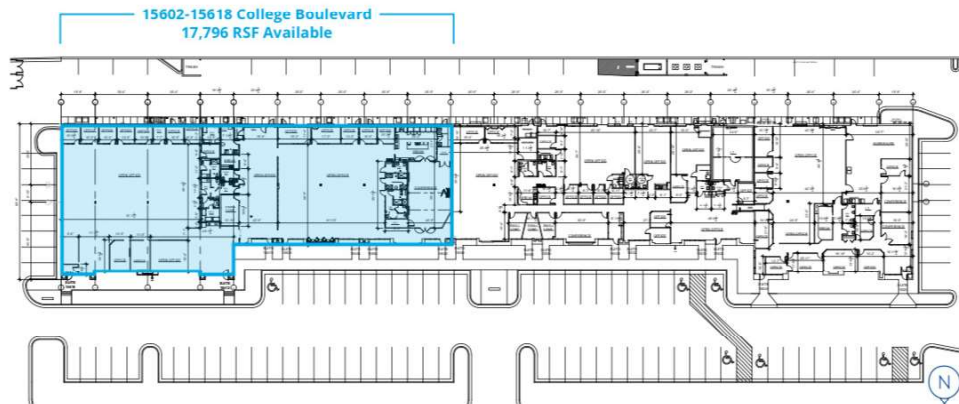


**Total Parking Count with  
Highlighted Spaces**



# Floor Plan

15602-15618 College Boulevard | For Sale or Lease



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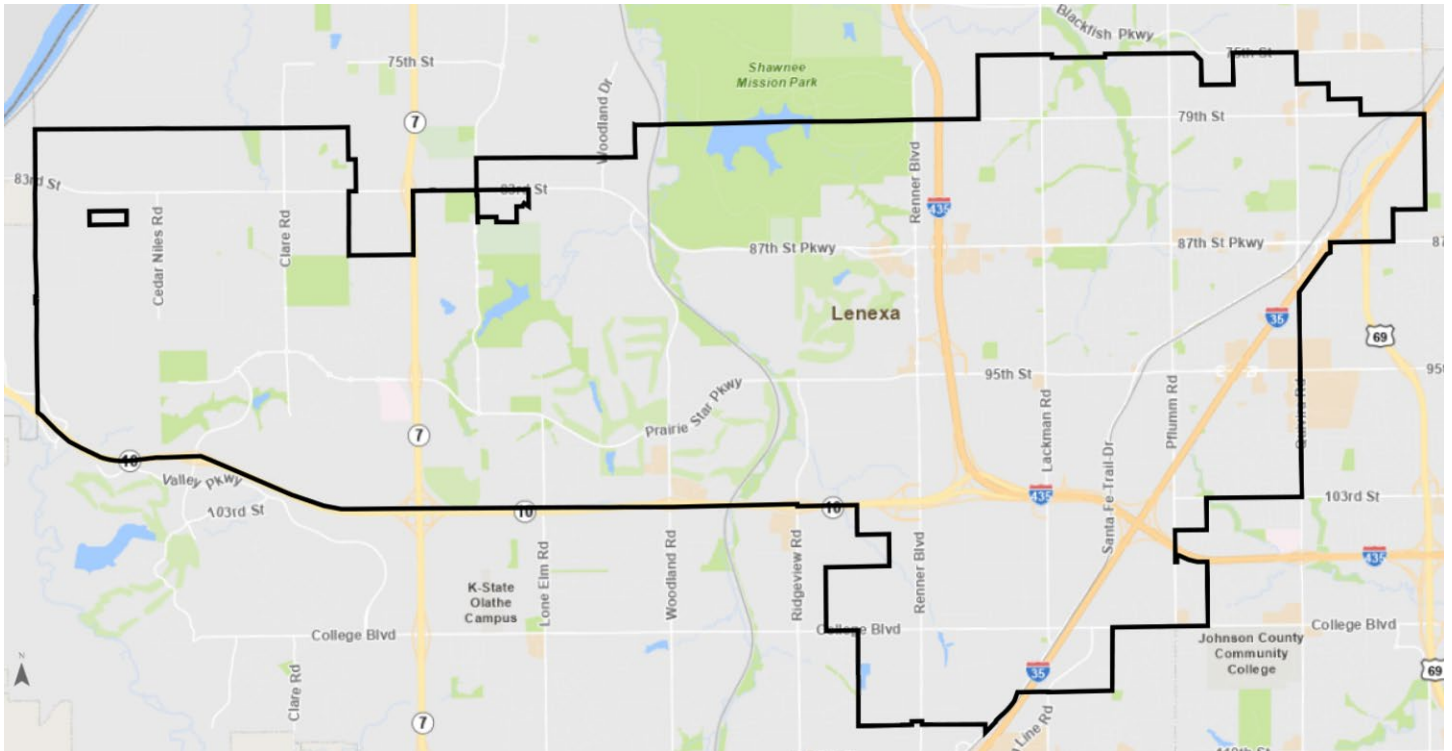




## 3/8¢ SALES TAX PRESENTATION

**City Staff:** Mike Nolan

**Location:** City-wide



### PROJECT SUMMARY

The City employs a five-year Financial Forecast and Capital Improvement Plan (CIP) to guide its long-term planning, with the 3/8¢ Sales Tax playing a crucial role, funding about 20% of the FY 2025-2029 CIP budget. This sales tax, first approved in 2008, has supported maintenance of streets, and investments in parks, trails, and recreation facilities to accommodate the City's 33% population growth and a 38% expansion of its street network. The current tax expires in 2028, leaving a funding gap for these investments in 2029 and beyond. To address this, the Governing Body has called for a renewal election on April 1, 2025, to extend the sales tax through 2048, ensuring continued investment in infrastructure and services rated highly by residents. Key projects include street maintenance, park development and upgrades, trail construction, and debt service for the Lenexa Rec Center, alongside new priorities outlined in the City's Comprehensive and Parks & Recreation plans. According to the 2023 Citizen Survey, 78% of residents indicated they support renewing the sales tax, highlighting its importance to the community. Staff will provide a brief presentation of the proposed 3/8¢ Sales Tax.



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## PROJECT BACKGROUND

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While it adopts a budget annually, the City plans financially in five-year increments through a Financial Forecast and Capital Improvement Plan (CIP). A major funding source for the CIP is the 3/8¢ Sales Tax, which accounts for about 20% of the recommended FY 2025-2029 CIP budget. The current 3/8¢ Sales Tax is set to expire in 2028 and consequently, is not an available funding source in the final year (2029) of the FY 2025-2029 CIP and Financial Forecast.

Having an identified funding source provides certainty when making long-term capital and operational planning decisions beyond 2028. This includes funding for new investment priorities identified in the City's Comprehensive and Parks & Recreation Plans, as well as resources dedicated to the ongoing maintenance of neighborhood streets and major roads. To ensure the ability to fund the priorities identified by these plans and to maintain the current level of service in maintenance and upkeep, the Governing Body called for an election to renew the 3/8¢ Sales Tax by special mail ballot on April 1, 2025. The renewed sales tax would take effect on October 1, 2028, the day after the current 3/8¢ Sales Tax expires, and would expire on September 30, 2048.

In 2008, Lenexa voters first approved the 3/8¢ Sales Tax that has funded the maintenance of neighborhood streets, improvement of parks, trails, and recreation facilities, and provided new parks and recreational opportunities. The 20-year general sales tax went into effect on October 1, 2008. Since 2008, Lenexa has grown in population by about 33% from just under 45,000 residents to a little over 60,000 today. Additionally, the business community employs nearly 70,000 people who work here every day. Over the last two decades, this growth has meant adding new parkland to the City's inventory, new trails to the trail system, and significant investment in preventative maintenance of a growing and aging street network. The street network has grown by 38% from about 600 lane-miles in 2008 to over 830 now, and the trail system includes nearly 45 miles of existing trails with 67 additional miles identified by the 2024 Parks & Recreation Master Plan for potential future construction. Not only will funding be necessary to construct new infrastructure, but a dedicated funding source to maintain it is also important.

Whether living here, working here, or passing through, residents and visitors alike use Lenexa's roads, parks, and trails. The maintenance of streets and funding for parks, trails, and recreation infrastructure are important services that Lenexa citizens rate highly. According to the 2023 Citizen Survey, 97% of residents polled were satisfied with the quality of the City's parks and trails and 84% were satisfied with the overall maintenance of City streets. Parks, trails, and the maintenance of streets were also ranked by respondents as some of the most important services for the City to provide. When asked as part of the 2023 Survey, 78% of respondents indicated that they were supportive of renewing the 3/8¢ Sales Tax for an additional 20 years.

In the proposed FY 2025-2029 CIP, about 60% of the City's Pavement Management Program (PMP) budget is funded by the 3/8¢ Sales Tax. It also funds \$2.8 million annually in debt service for the Lenexa Rec Center, the bonds for which will be retired in FY 2028. The balance is used to fund the Playground Equipment Replacement Program, invest in the City's pools and parks, reinvest in the Lenexa Old Town Activity Center, and construct, maintain, and upgrade trails throughout the City.

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## FINANCIAL IMPLICATIONS

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In 2024, the 3/8¢ Sales Tax has raised approximately \$10 million. If approved, a renewed 3/8¢ Sales Tax would raise an estimated \$260 million over 20 years, or about \$13 million annually, accounting for growth.

According to estimates from the Kansas Department of Revenue, between 35-40% of sales tax in Lenexa is generated by visitors, not residents. The 3/8¢ Sales Tax costs shoppers \$0.38 for every \$100.00 dollars spent at a Lenexa retailer.

# 3/8¢ SALES TAX RENEWAL

Rate	Duration	Election Type	Election Date / Start Date
<b>3/8¢</b> <b>0.375%</b>	<b>20 Years</b>	<b>Mail*</b>	<b>Apr 1, 2025</b> <b>Oct 1, 2028</b>

Total City Sales Tax Rate = **1.375%** (rate unchanged)

# 3/8¢ SALES TAX RENEWAL

## KEY TAKEAWAYS

- ★ This is an existing sales tax approved in 2008 and would **not be a rate increase**.
- ★ If renewed, the sales tax would be in place for **an additional 20 years** after the current sales tax term expires, ending September 30, 2048.
- ★ Early renewal provides certainty in making **long-term capital and operational planning** decisions beyond FY 2028.
- ★ The sales tax will **continue to fund pavement maintenance and parks and recreation** improvements, including new trails, as identified in the Parks & Rec Master Plan.
- ★ Parks & Rec Master Plan priorities have **few other dedicated funding sources** and continued investment in the PMP is needed to **keep pace with street maintenance**.
- ★ The sales tax is projected to raise **\$13 million annually or \$260 million over 20 years**.
- ★ Between **35-40%** of the City's sales tax revenue is paid by visitors to Lenexa.



# 3/8¢ SALES TAX RENEWAL

## PARKS & PLAYGROUNDS

- ★ Retire Rec Center Debt
  - \$9.4 million through 2028
- ★ Fund Parks & Rec Master Plan Initiatives
  - New Trails
  - Existing Park Improvements & Equipment Replacement
  - Park Development
  - Future Park Land Acquisition
- ★ Continue Playground Equipment Replacement
  - All playgrounds refreshed with initial sales tax
- ★ Construct a new Parks & Rec Service Center



# 3/8¢ SALES TAX RENEWAL

## PAVEMENT & PEDESTRIANS

- ★ Pavement Maintenance & Reconstruction
  - 60% of the PMP is funded by the 3/8¢ Sales Tax
  - \$5-6M annually (sales tax only funding)
- ★ Annual Sidewalk / Trail Maintenance Program
  - \$300k annually
- ★ Complete Streets Plan
  - \$100k annually



# 3/8¢ SALES TAX RENEWAL

Rate	Duration	Election Type	Election Date / Start Date
<b>3/8¢</b> <b>0.375%</b>	<b>20 Years</b>	<b>Mail*</b>	<b>Apr 1, 2025</b> <b>Oct 1, 2028</b>

Total City Sales Tax Rate = **1.375%** (rate unchanged)



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## CALL TO ORDER

---

Chairman Poss called the regular meeting of the Lenexa Planning Commission to order at 7:00 p.m. on Monday, December 2, 2024. The meeting was held in the Community Forum at Lenexa City Hall at 17101 W. 87<sup>th</sup> Street Parkway, Lenexa, Kansas.

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## ROLL CALL

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### COMMISSIONERS PRESENT

Chairman Chris Poss  
Vice-Chairman Mike Burson  
Commissioner Ben Harber  
Commissioner Brenda Macke  
Commissioner David Woolf  
Commissioner Don Horine  
Commissioner John Handley  
Commissioner Cara Wagner  
Commissioner Curt Katterhenry

### COMMISSIONERS ABSENT

None

### STAFF PRESENT

Scott McCullough, Community Development Director  
Stephanie Sullivan, Planning Manager  
Tim Green, Deputy Director of Community Development  
Andrew Diekemper, Assistant Chief – Fire Prevention  
Steven Shrout, Assistant City Attorney II  
Dave Dalecky, Planner II  
Logan Strasburger, Planner I  
Gloria Lambert, Senior Administrative Assistant

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## APPROVAL OF MINUTES

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The minutes of the November 4, 2024 meeting were presented for approval. Chairman Poss entertained a motion to **APPROVE** the minutes. Moved by Commissioner Burson, seconded by Commissioner Katterhenry, and carried by a unanimous voice vote.

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## CONSENT AGENDA

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1. **Stoneridge North, First Plat - Consideration of a revised final plat for a two-family (duplex) residential subdivision located near the northeast corner of West 83rd Street and Cedar Niles Road within the RP-2, Planned Residential (Intermediate Density) District. PT24-07FR**

Chairman Poss entertained a motion to **APPROVE** Consent Agenda Item 1. Moved by Commissioner Horine, seconded by Commissioner Handley, and carried by a unanimous voice vote.

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## REGULAR AGENDA

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2. **Smiley's - Consideration of a special use permit to allow an entertainment, outdoor use on property located at 10195 Monticello Road within the AG, Agricultural District. SU24-13 (Public Hearing)**

### APPLICANT PRESENTATION

Mark McFarland, Hinkle Law Firm LLC, addressed the commission regarding the renewal of the special use permit for Smiley's Golf Course. He expressed appreciation for Staff's work on the report and noted that he did not have much to add. He said the property has operated as Smiley's Golf Course and Executive Golf Club for 38 years without any issues, which demonstrates its suitability for the current and proposed uses. Smiley's Golf Course has been a responsible corporate citizen to Lenexa over the years. The approval of the special use permit would align with the City's Comprehensive Plan, specifically goal 1.13, strategy 13, which focuses on reinvesting in high-quality parks, recreational facilities, and cultural opportunities. Mr. McFarland emphasized the significant contributions of Smiley's Golf Complex to the community, including serving as the primary practice facility for several local high school golf teams, hosting various high school golf tournaments, including for Mill Valley, St. James, Olathe North, Olathe Northwest, and Shawnee Mission West, supporting Special Olympics golf teams, including hosting their season-ending tournament and skills competition, partnering with Lenexa Parks and Recreation to offer junior golf lessons, providing facilities for over 50 child care businesses, serving more than 1,000 children annually, supporting the Johnson County Schools for the Blind, who regularly use the miniature golf course for educational and recreational purposes.

### STAFF PRESENTATION

David Dalecky stated that the request by the applicant was for renewal of a special use permit for Smiley's Golf Course to continue its operation as it currently exists. Mr. Dalecky provided the site location which is at the intersection of K-10 and K-7 Highway, in the northeast quadrant of the intersection. He provided the zoning designation for the site in question along with its Future Land Use according to the City's Comprehensive Plan. He gave site details explaining that it was an existing golf course, a miniature golf course, a driving range, and a golf club building. It also has a large parking area with over 200 parking spaces, which meets the requirements for the facility's parking needs. He noted that some areas of the parking lot were in disrepair, but the applicant had assured Staff that a maintenance program is planned for the spring when weather conditions improve, and that Staff will follow up with the applicant to confirm that necessary repairs are made. He stated that Staff was recommending approval of the request for a special use permit for a five-year duration with no conditions.

### PUBLIC HEARING

Chairman Poss **OPENED** the Public Hearing and asked if anyone wished to speak on this item. No one from the audience came forward.

Chairman Poss entertained a motion to **CLOSE** the Public Hearing. Moved by Commissioner Handley, seconded by Commissioner Woolf, and carried by a unanimous voice vote.

### COMMISSION DISCUSSION

Chairman Poss acknowledged that he supported the application during its previous renewal in 2014 and that the golf course was a good asset to the community. He said they were a good partner with the City of Lenexa; therefore, he had no issues recommending approval.

## MOTION

Chairman Poss entertained a motion to recommend **APPROVAL** of a special use permit for an entertainment, outdoor use for **Smiley's** at 10195 Monticello Road for a period of five years.

Moved by Commissioner Katterhenry, seconded by Commissioner Macke, and carried by a unanimous voice vote.

### 3. **Renner 87 - Consideration of a revised preliminary plan for a mixed-use development on property located at the northeast corner of westbound 87th Street Parkway & Renner Boulevard within the CC, Planned City Center District. PL24-04PR**

#### APPLICANT PRESENTATION

Patrick Reuter with Klover Architects provided an update on the revised plan for the project at the northeast corner of 87th and Renner. Mr. Reuter highlighted the changes made since the previous presentation, specifically noting that the overall site location and the project itself had not changed. The major revisions to the current plan he was presenting included the addition of one story to the buildings, changing from a 3/4 split to a 4/5 split, the removal of the eastern leg of the north building and shortening of the eastern leg of the southern building, and the removal of the previously proposed parking garage located between the two buildings. He explained that there were updates to the parking configuration along the west side of the site and changes to the cul-de-sac at the south end. He said they also coordinated with Southern Star Gas regarding parking over their easement and the updated design included green spaces between parking stalls as requested by the gas company. He stated that the project still maintains a total of 215 units, with the addition of an extra story not altering the overall density. The unit breakdown consists of 17 studios, 112 one-bedroom units, and 86 two-bedroom units, although there was a discrepancy in the staff report that listed 11 studios. The amount and location of commercial space in the south building remain the same, despite the removal of a two-story commercial volume on the north side of the south building. He said the project now includes 61 surface stalls on the west side for commercial parking, with cross-parking arrangements for residential use, as well as 231 surface stalls in the rear and 41 tuck-under stalls. An alternate plan for carports and coverings on the eastern stalls has also been added for protection against exposure to Interstate 435. He said the building design remained largely unchanged, except for a height increase of about 11 feet. The materials (brick, stone, siding, stucco) and general design for both the commercial and residential sections are consistent with previous plans. There have been some updates to the parapet designs and the articulation of heights. At the ground level, a new decorative plaza with paving replaces a previous drive lane and serves as an entrance to the development, complete with signage. The site's significant grade change has been considered in the design, with tuck-under parking and adjustments to the building's layout. The intersection design at Renner and 87th Streets has also been updated to match the circular design found in the City Center.

#### STAFF PRESENTATION

David Dalecky presented a revised preliminary plan application for the site at the northeast intersection of Renner Boulevard and 87th Street Parkway in City Center, located at a key gateway entry to City Center, just west of the Interstate 435. Mr. Dalecky showed an aerial of the site location, gave an overview of the project, and provided the Comprehensive Plan information for the site in question. He stated that the project had been presented several times before, with the most recent version in September explaining differences from previous iterations. He noted that the building layout had remained mostly the same in all versions, with buildings positioned



along Renner Boulevard and wrapping around the corner to face 87th Street. The configuration was influenced by a 100-foot gas line easement along the east side of Renner Boulevard, which pushes the buildings away from the street, deviating from the expected City Center development pattern. To accommodate this, angled parking and a pedestrian amenity zone was incorporated between the buildings and the street, with a 10-foot-wide sidewalk and bike/hike trail, similar to other areas along Renner Boulevard. He explained that to access the site there would be two entry points: a right-in, right-out along Renner Boulevard, and a access at the roundabout further north of the site. The drive along the front of the building allows traffic to either continue south or north. The site also features a cul-de-sac at the southern end for turning around. He said that the design, though it might initially seem unconventional in an urban setting, is necessary to make the circulation work, especially with the angled parking. The development includes retail space on the south ground floor of the south building, totaling 9,858 square feet, and the overall parking configuration has been adjusted to require fewer parking stalls, reflecting City Center's walkability and shared parking availability. The applicant is proposing this change due to the nature of the development and the existing infrastructure. He noted the significant challenge of the design is the gas line easement. The easement prevents the building from being brought up to the street and prevents large trees from being planted along the Renner Boulevard frontage. Instead, smaller trees, shrubs, and ornamental plants will be used in the landscape plan. The building's design includes retail spaces on the ground floor and residential units above. The elevations and renderings showcase the building's appearance from various angles, including a view from the intersection of Renner Boulevard and 87th Street, and from the roundabout, where the leasing office and other key features are located.

## COMMISSION DISCUSSION

Commissioner Horine asked Patrick Reuter about the optional carports and if there would be parking spaces there now. Mr. Reuter responded that there will be parking spaces now and the carports were included in the total parking count and will be installed at the developer's discretion. He added that gaining approval to add them now will avoid coming back to request approval later. Commissioner Horine suggested adding the carports sooner than later to help screen the parking area from the nearby interstate. He also commented that he liked the parking arrangement better than the prior one because it offers more access to get in and out of the front. Commissioner Horine asked Mr. Reuter if any retail restaurants would be going in. Mr. Reuter replied that they are not targeting restaurants because of the limitations of the site such as the tenant space's depth, also due to the existing restaurant presence that already exist in City Center. Commissioner Horine commented on the shortage of apartment parking spaces. Mr. Reuter replied that the Staff Report acknowledged the parking as being adequate because of the shared area parking. Commissioner Horine continued to voice concerns that if parking is far from the apartments, it may be inconvenient for tenants. Mr. Reuter was confident that the planned parking layout will suffice, as they aim to avoid leasing issues arising from inadequate parking. Commissioner Horine asked if the east side of the building will mirror the west side. Mr. Reuter replied that although it is not fully designed it will feature similar materials, garage doors on the lower levels and softened edges with landscaping around the pool deck area. Commissioner Horine also voiced concerns about the visual impact of the east side because of the visibility from Interstate 435 and 87<sup>th</sup> Street. He was also concerned about the parking layout suggesting that drivers may struggle with tight turns, potentially leading to inefficient parking or accidents and suggested better striping or arrows. Mr. Reuter said that the entrance from Renner Boulevard will feature a retaining wall to manage the elevation difference, preventing drivers from driving straight through and landscaping and signage will further guide traffic and enhance the visual appeal.

Commissioner Harber had a positive view of the angled parking design but raised concern of issues involving drivers trying to quickly grab a parking spot, leading to improper turns into

opposing lanes and parking at an angle, potentially taking up two spaces. Commissioner Harber suggested improving the layout with striping or arrows to guide drivers to prevent problems.

Commissioner Wagner expressed a similar concern to Commissioner Horine's regarding parking, with an appreciation for the anticipated lower parking demand per unit. Commissioner Wagner noted that the current parking numbers seem large, but if the expected usage is closer to around 270 to 280 spaces, they are more comfortable with the layout. She also raised concerns about the entrance off Renner Boulevard, referring to the barrier designed to prevent drivers from going straight into areas further down. She asked about the elevation difference between the circular entrance off Renner and the apartment parking level, wanting clarification on the height difference between the two levels. Mr. Reuter replied that the elevation difference between the circular entrance off Renner Boulevard and the apartment parking level is approximately 10 to 11 feet, which is considered significant. To manage this, a concrete retaining wall will be used, with the first 30 inches to 3 feet featuring a concrete stone fascia. Above that, a railing will be placed, offering a balance between a solid block wall and an open railing. The area will be heavily landscaped, and there are plans to include signage or a monument feature. This design aims to prevent drivers from inadvertently driving straight through the area while maintaining a visually appealing barrier.

Commissioner Katterhenry said that he really liked the last rendition of the project where the north building featured a U-shape on the east side and the south building had a J-shape, which helped position more of the building towards the I435 side rather than parking. Commissioner Katterhenry said that the east side of the development, which will be more visible, needs a strong elevation to improve its appearance. He supports the inclusion of carports, as they would help soften the view of the parking garage from the I-435 side, especially since the area is elevated and visible from above, and also suggested the addition of signage along the north drive to prevent non-residents from parking on the east side, ensuring parking spaces remain available for residents. He appreciates the architecture and believes it would be a fitting development for the site.

Commissioner Woolf recognized that the site presents several challenges, particularly regarding traffic flow. Commissioner Woolf believes that the approach laid out is the best solution that can be implemented given the constraints. Overall, he was comfortable with the additional story and given the elevation of the site, he feels it will be a good fit.

Commissioner Handley noted that many of his concerns had already been addressed and echoed a few points raised by others. Commissioner Handley agreed that the addition of carports is important to soften the appearance of the parking area visible from the highway. He commented that this will not only improve the look of the site but also provide a valuable amenity for residents. He also mentioned that pedestrian circulation within the site should be a focus in the next iteration and pointed out that if a resident parks in the furthest east spot and needs to walk to the northernmost building, they would have to walk through a large parking area with no clear walking paths. He said this should be addressed to improve pedestrian flow. He expressed appreciation for the materials and design, particularly the variation in the building elevations. He also shared his personal experience living near a highway and emphasized the importance of soundproofing and quality materials, as residents will likely seek peaceful living spaces despite the proximity to the highway.

Chairman Poss expressed concerns of the removal of the parking deck, stating he was unsure about the changes. Mr. Reuter explained that access to the lower level of parking will remain unchanged. Previously, the second level of the parking deck was only accessed from the access drive on the west side of the buildings. The second deck level would be approximately 10 to 11 feet above the parking area. From there, vehicles could drive in a circle and exit the same way.

He also confirmed that access to the eastern stalls will remain the same, with a single point of entry from the north side of the building, heading east on the northern part of the structure. Chairman Poss asked if City Staff and Fire officials were satisfied with the parking being located on the east side of the building and the single connection point for access. After receiving a nod from Butch Diekemper (Fire Department) in the audience, Chairman Poss indicated that the record should show Fire and City Staff are comfortable with the plan. He stated that, with their approval, he also supports the plan.

### MOTION

Chairman Poss entertained a motion to recommend **APPROVAL** of the revised preliminary plan for **Renner 87** at the northeast corner of 87<sup>th</sup> Street Parkway and Renner Boulevard, for a mixed-use development.

Moved by Commissioner Harber, seconded by Commissioner Wagner, and carried by a unanimous voice vote.

## 4. **Lenexa Logistics Centre East, Fourth Plat and Lot 1 - Consideration of a revised preliminary plan and final plat for an industrial development located at the southeast corner of 116th Street & Renner Boulevard in the BP-2, Planned Manufacturing District. PL24-05PR, PT24-16F**

### APPLICANT PRESENTATION

Chip Corcoran, Renaissance Infrastructure Consulting, introduced himself and his firm's office location at City Center, 8653 Penrose Lane. Mr. Corcoran presented an updated preliminary plan and companion final plat for the Lenexa Logistics Center, East 4th Plat. The proposed project includes a 45,000 square foot warehouse building on a 4.9-acre lot at the southeast corner of 116th and Renner Boulevard. The intended use is light industrial warehousing, in line with the surrounding area and the BP-2 zoning for the site. The building will feature a mix of office space and light industrial/warehouse use, with the owner planning to personally occupy 15,000 square feet for warehousing and office use, while the remaining 30,000 square feet will be speculative space. The goal is for the entire building to potentially be used as a single unit in the future. He said the project's off-street parking complies with the city's requirements for both office and warehouse uses. Additionally, deferred parking is included to plan for future users of the speculative space and possibly the entire building. Mr. Corcoran noted that the initial application for the preliminary plat had been updated due to the expiration of a prior plan. Staff requested a revised development plan, which will include a landscape plan, site lighting, signage, and building plans with a future final development plan application. He concluded that the project complies with the city's access management and control requirements. It also includes the dedication of a 20-foot-wide access easement for the main drive, which will serve this site as well as the adjoining site to the east.

### STAFF PRESENTATION

Stephanie Sullivan provided the Staff Report and presented the final plat and revised preliminary plan for what is the last lot in Lenexa Logistics East industrial center. Due to the uniqueness of the project Ms. Sullivan explained that she would present the plan in more detail than usual. She displayed a location map of the proposed site and provided zoning and Comprehensive Plan information for the property in question. She stated that after going through several revisions, the building is currently projected to be about 45,000 square feet. The original design for the building was around 80,000 square feet, with parking surrounding the entire building. By 2019, the building



size was reduced to 50,000 square feet, maintaining a similar layout with parking around the building and a shared access point with the neighboring site to the east and by 2020, the size decreased further to about 40,000 square feet, with the layout remaining largely unchanged. She said the 2024 plan had a slight increase in building size, now 45,000 square feet, with the space divided into two tenant areas: 15,000 square feet on the west side and 30,000 square feet on the east. The new layout includes cross-access points to the north and south, allowing shared access with adjacent properties. Deferred parking areas are strategically placed along 116th Street and Renner Boulevard to minimize visual impact and headlight glare, especially at night. A trash enclosure is located at the south corner, away from the right-of-way, and security gates are planned for the tenant space on the west side of the building. These gates will be reviewed in the final plan to ensure emergency vehicle access. The dock area will be screened to match the building, consistent with other buildings in the area, to prevent the docks from being visible from public view. The project was initially submitted as a final plat, but due to the changes over time and the revised preliminary plan, both the plat and the plan are being reviewed together to ensure consistency. The revised preliminary plan ensures that the final plat aligns with the current design, particularly in eliminating the access point along 116th Street and addressing necessary easements and dedications. She stated that staff is recommending approval of both the revised preliminary plan and the final plat.

### COMMISSION DISCUSSION

Commissioner Katterhenry voiced his concerns of the security gate on the south side of the property, specifically how semis might need to maneuver if the gates are closed. Commissioner Katterhenry stated the importance of allowing trucks enough space to back into the facility without difficulty. He commented that it is a good site, and his only concern was the security gates.

### MOTION

Chairman Poss entertained a motion to recommend **APPROVAL** of the revised preliminary plan for **Lot 1 of Lenexa Logistics Centre East, Fourth Plat** at the southeast corner of 116<sup>th</sup> Street and Renner Boulevard, for an office/warehouse development.

Moved by Commissioner Burson, seconded by Commissioner Horine, and carried by a unanimous voice vote.

Chairman Poss entertained a motion to recommend **APPROVAL** of the final plat for **Lenexa Logistics Centre East, Fourth Plat** at the southeast corner of 116<sup>th</sup> Street and Renner Boulevard, for an office/warehouse development

Moved by Commissioner Burson, seconded by Commissioner Horine, and carried by a unanimous voice vote.

## 5. Consideration of the recommended 2025-2029 Capital Improvement Program (CIP) for conformance with the Comprehensive Plan.

### STAFF PRESENTATION

Tim Green presented the 2025-2029 Capital Improvement Program (CIP), outlining key budget principles, funding sources, major projects, and the proposed project timeline. The CIP includes 54 projects, with a total expenditure of \$208 million, a decrease from the previous cycle's \$275 million, largely due to the completion of the Justice Center project. About 7% of the projects are

new, totaling 16 new initiatives, while the remaining projects are continuations of existing projects. There is a strong focus on maintenance, particularly for pavement management, bridges, stormwater, and sidewalks/trails. New areas of focus include IT infrastructure replacement, fiber optics network, and a sustainability program.

### **Funding and Budget**

- Two-thirds of the CIP funding comes from three main sources: general fund revenues (cash), general obligation bonds, and three-eighths sales tax (dedicated primarily to parks, rec center debt, and pavement management).
- The county quarter-cent sales tax is notably zeroed out in this cycle because it is now funding the Justice Center, which is no longer included in the CIP.

### **Major Projects**

#### 1. Lone Elm Interchange (K-10):

- A full interchange is proposed at K-10 and Lone Elm, a long-discussed project dating back to 1994. KDOT plans to begin work on the K-10 corridor improvements in 2026, with the city committing about \$8 million and federal funds (around \$3 million) toward this interchange.
- Concerns have been raised by nearby residents about whether an overpass might suffice, but the full interchange is seen as necessary to manage the growing traffic volume in the area, especially to support development around Lone Elm, which includes 200+ acres of business park and high-density residential areas.
- KDOT has indicated support for the full interchange, but discussions with Olathe regarding access to the south are ongoing.

#### 2. Santa Fe Trail Drive:

- The scope of this project has expanded to include a 10-foot wide trail along the Santa Fe Trail drive, with a mill and overlay from 87th Street. Additionally, traffic signals at Pflumm Road and Santa Fe Trail Drive will be upgraded.
- The project, which will start in spring 2025, will include full city-standard infrastructure (curbs, gutter, streetlights) from 95th Street to Pflumm, while the stretch from Pflumm to Old Town will only be milled and overlaid.

#### 3. I-35 Bridge at Pflumm:

- KDOT plans to widen the southbound I-35 bridge over Pflumm Road, which will require lowering Pflumm Road by 4 feet from Marshall Drive to Lenexa Drive.
- The city will contribute \$200,000 to add trails and turn lanes in the area. However, the lowering of Pflumm creates concerns about stormwater management, as the area is prone to flooding.
- The project schedule is still tentative, with a planned fall 2025 letting and construction expected in 2026.

#### 4. 83rd Street Improvements (Gleason to Clare Road):

- The city is considering several options for upgrading 83rd Street with designs that could include a four-lane divided road or five lanes with a center turn lane.
- The project will likely involve purchasing additional land to align streets such as Barth Road, and the first phase is projected for construction in 2027.
- The city is addressing traffic woes in the area, with traffic studies indicating that improvements will be needed from Gleason to Claire first, as this section faces both capacity issues and maintenance needs.

### Other Notable Projects

- Stormwater Infrastructure: Additional projects in the CIP are focused on stormwater management, particularly with SMAC (Stormwater Management Advisory Committee) funding. The county now matches 50% of stormwater maintenance costs, which helps extend the city's budget for these projects.
- Fire Training Facility: A new training facility is being planned near the Justice Center for the fire department.
- Municipal Services and Centennial Park: The CIP includes master plans for the municipal services complex near Cottonwood and a new park (Centennial Park) at 91st and Clare.
- Park Service Center: A new Park Service Center is planned for the south side of Freedom Fields.

### Additional Funding

- The City also received \$3.5 million in federal funding from the Mid-America Regional Council (MARC), which will be applied to various CIP projects.

## COMMISSION DISCUSSION

There was detailed discussion regarding infrastructure projects and their design challenges. One key topic was a road project where a section of the road will be lowered by four feet under a bridge. This change will create potential drainage issues, as the area will be four feet deep, and the project will include multiple inlets to manage the water. However, the design is still at about 30% completion, with many details yet to be worked out.

Another topic of discussion was improvements to 83rd Street. A traffic study identified sections that need upgrading, with costs ranging from \$10-15 million per section. The section from Gleason to Clare is the most urgent, and plans include signaling both Clare and Gleason. While the road will be fully upgraded to city standards with curbs and stormwater management, other parts of Santa Fe Trail Drive will not have curbs but will still meet city standards for streetlights and other infrastructure.

The City's pavement management program was also addressed. The total amount for the program is approved as a lump sum in the Capital Improvement Program (CIP), but specific street projects will be brought before the city council each year for approval. These updates are posted on the city's website, including a map showing the streets planned for the 2025 program.

Finally, there was a discussion about the damage to single-lane roundabouts, particularly those in areas experiencing heavy construction traffic. The issue is compounded by the thinner asphalt used in the roundabouts, which was not designed to handle the weight of construction vehicles. A project planned for 2026-2027 will replace the asphalt with concrete. Additionally, there are plans to extend the concrete beyond the roundabouts into the median and surrounding areas to ensure long-term durability.

## MOTION

Chairman Poss entertained a motion to recommend **APPROVAL** that the 2025 – 2029 Capital Improvement Program for the City of Lenexa is in conformity with the Comprehensive Plan.

Moved by Commissioner Harber, seconded by Commissioner Wagner, and carried by a unanimous voice vote.



## **STAFF REPORT**

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Stephanie Sullivan thanked the Commissioners for attending the Planning Commission retreat that took place November 22, 2024.

## **ADJOURNMENT**

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Chairman Poss ended the regular meeting of the Lenexa Planning Commission at 8:18 p.m. on Monday, December 2, 2024.

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